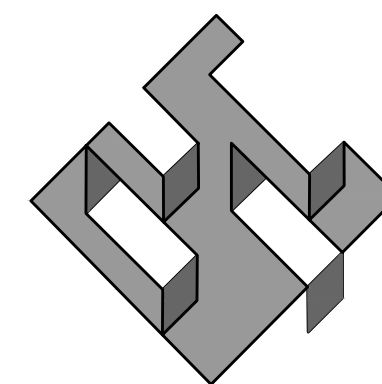


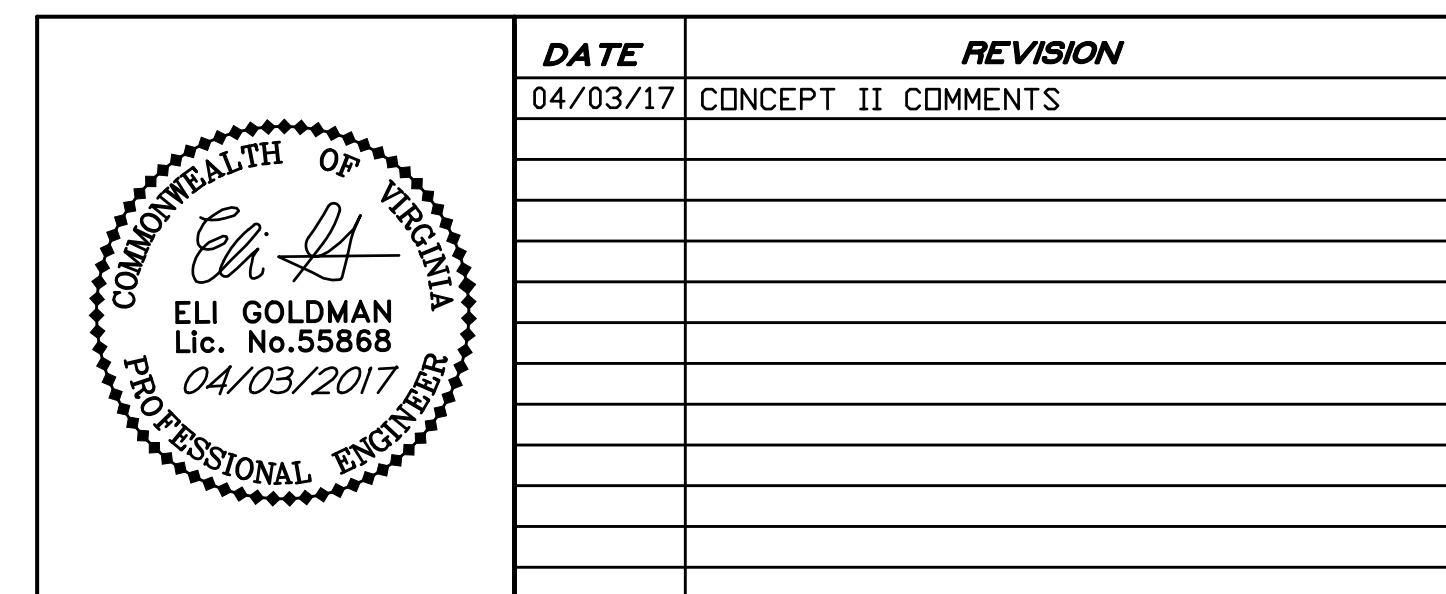
CONCEPT PLAN III
STREET BAPTIST
ALEXANDRIA, VIRGINIA



PREPARED BY:

christopher consultants

engineering · surveying · land planning
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9900 main street (fourth floor) · fairfax, va 22031-3
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C600 TURNING MOVEMENTS
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C602 TURNING MOVEMENTS PARKING GARAGE

ARCHITECTURE

A-001 FLOOR PLANS
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A-003 FAR DEDUCTION DIAGRAMS
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A-005 ELEVATIONS
A-006 SITE SECTIONS
A-007 BUILDING SECTIONS
A-008 MASSING MODEL

NARRATIVE DESCRIPTION OF DEVELOPMENT

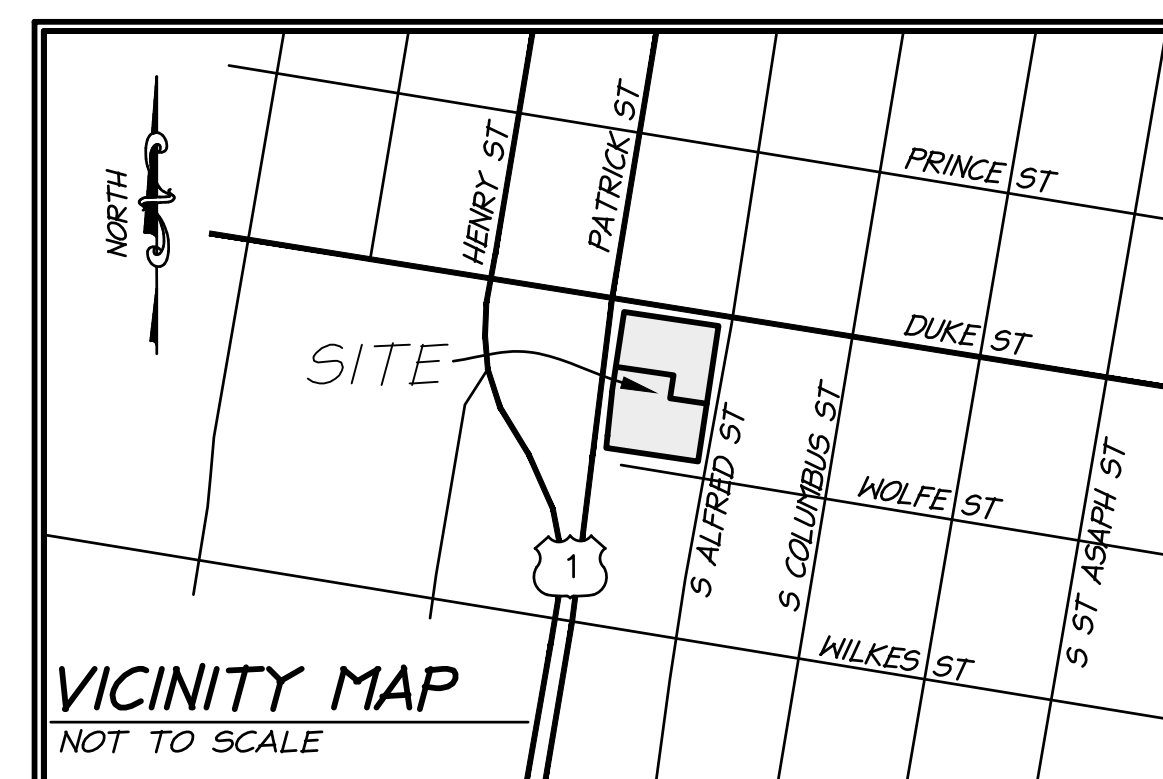
THIS SITE IS BORDERED TO THE NORTH BY DUKE STREET; TO THE SOUTH BY WOLFE STREET; TO THE EAST BY S. ALFRED STREET; AND TO THE WEST BY S. PATRICK STREET.

THIS PROJECT CONSISTS OF THE DEVELOPMENT AND EXPANSION OF THE ALFRED STREET BAPTIST CHURCH.

SITE ACCESS: THE PRIMARY ACCESS TO THE SITE WILL BE FROM WOLFE STREET AND PATRICK STREET

SPECIAL USE PERMITS/ZONING MODIFICATIONS/WAIVERS

1. A DEVELOPMENT SPECIAL USE PERMIT WITH SITE PLAN
2. A SPECIAL USE PERMIT PARKING FOR OFF-SITE PARKING WITHIN 300 FEET OF THE SITE (PER SECTION 8-200).
3. AN ADMINISTRATIVE SUP FOR THE SHARED USE OF THE ADJACENT PARKING SITES TO FULFILL THE PARKING REQUIREMENT, BASED ON SECTION 8-100(A)(6) OF THE ZONING ORDINANCE.
4. LOT CONSOLIDATION
5. A MODIFICATION FOR ANY PORTION OF THE FRONT FACADE(S) NOT BUILT TO THE FRONT LOT LINE (PER R11 ZONING REQUIREMENTS).
6. BOARD OF ARCHITECTURAL REVIEW
 - 6.1. CONCEPT REVIEW
 - 6.2. PERMIT TO DEMOLISH/CAPSLULATE
 - 6.3. CERTIFICATE OF APPROPRIATENESS



OWNER/APPLICANT
ALFRED STREET
BAPTIST CHURCH

301 S. ALFRED STREET
ALEXANDRIA, VA 22314
(267) 895-1722

CIVIL ENGINEER
christopher consultants, ltd.

9900 MAIN STREET
FOURTH FLOOR
FAIRFAX, VIRGINIA 22031
(703) 273-6820

DESIGN ARCHITECT
KERNS GROUP ARCHITECTS, P.C.

105 N. MAPLE AVE
SUITE 200
FALLS CHURCH, VA. 22314
(703) 528-1150

ATTORNEY
HART, GIBBS, PIERCE
& KARP, P.C.

700 N. FAIRFAX STREET, SUITE 600
ALEXANDRIA, VA 22314
(703) 836-5757

ARCHITECT OF RECORD
HCO, INC.

3921 NORTH MERIDIAN STREET
SUITE 100
INDIANAPOLIS, IN. 46208
(317) 923-3737

TRAFFIC ENGINEER
WELLS & ASSOCIATES

1420 SPRING HILL ROAD
SUITE 610
TYSONS, VA. 22102
(703) 917-6620

ZONING TABULATIONS

SITE ADDRESSES & TAX MAP NUMBERS:	074.03-04-01 (301 S. ALFRED STREET) 074.03-04-02 (901 WOLFE STREET)		
EXISTING ZONE:	RM (TOWNHOUSE)		
EXISTING SITE AREA:	074.03-04-01 - 41,119 S.F. OR 0.94 AC. 074.03-04-02 - 45,824 S.F. OR 1.05 AC.		
	TOTAL:	86,943 S.F. OR 1.99 AC.	
PROPOSED SITE AREA:	86,943 S.F. OR 1.99 AC.		
EXISTING USE:	074.03-04-01 - CHURCH 074.03-04-02 - TOWNHOMES		
PROPOSED USE:	CHURCH		
MAXIMUM FLOOR AREA: (FAR= 1.5)	1.5 X 86,943= 130,415 SF		
GROSS BUILDING AREA PROPOSED: (EXISTING + PROPOSED)	173,759 SF (43,537 SF + 130,222 SF)		
NET FLOOR AREA PROPOSED: (EXISTING + PROPOSED)	123,896 SF (37,504 SF + 86,392 SF)		
MAXIMUM BUILDING HEIGHT PROPOSED:	45'		
OPEN SPACE PROVIDED:	AT GRADE	±10,000 SF OR 0.23 Ac.	
AVERAGE FINISHED GRADE:	33.0'		
BUILDING SETBACK:	PATRICK STREET = 10.01' DUKE STREET = 9.21' (TO EXISTING CHURCH) ALFRED STREET = 0.87' (TO EXISTING CHAPEL) WOLFE STREET = 0.00		
LOT FRONTAGE:	PATRICK STREET = 330' DUKE STREET = 220' ALFRED STREET = 330' WOLFE STREET = 180'		
PARKING REQUIRED:	1 PARKING SPACE PER 5 SEATS: 2065/5= 413 SPACES (SEATS INCLUDE SANCTUARY, CHAPEL ORCHESTRA, CHOIR AND BALCONIES)		
PARKING PROVIDED:	COMPACT STANDARD HANDICAP TOTAL	36 SPACES 260 SPACES 18 SPACES 314 SPACES	NOTE: COMPACT SPACES ARE 8' x 16' AND STANDARD SPACES ARE 9' x 18.5'

ON-SITE PARKING	OFF-SITE PARKING	TOTAL
314	SEE TABLE	556

(DOES NOT INCLUDE SURPLUS LOTS.)

OFF-SITE PARKING				
LOCATION	AIRLINE DISTANCE FROM ASBC (FT.)	NUMBER OF SPACES	AGREEMENT DATE	WITHIN 300 FT?
TOWNHOUSE OFFICE LOT 1000 BLOCK OF DUKE STREET	75	48	March 31, 2016	YES
ALEXANDRIA GATEWAY	75	194	July 7, 2015	YES
COAL YARD LOT	400	40	April 13, 2016	NO (SURPLUS)
117 N. ALFRED STREET	1150	150	AUGUST 9, 2011 (DRAFT)	NO (SURPLUS)
TOTAL		432		

LOADING SPACES REQUIRED:	NONE
LOADING SPACES PROVIDED:	1 SPACE
APPROXIMATE TOTAL AREA DISTURBED:	85,050 SF OR 1.95 AC.
EXISTING AVG. DAILY TRIPS: (INCLUDES TOWNHOMES)	WEEKDAY= 571 SUNDAY= 2341
PROPOSED AVG. DAILY TRIPS:	WEEKDAY= 1903 SUNDAY= 3602

NOTES:

- 1.) TO THE BEST OF OUR KNOWLEDGE THERE ARE NO AREAS ONSITE CONTAINING CONTAMINATED SOILS OR CONTAMINATED GROUNDWATER.
- 2.) TO THE BEST OF OUR KNOWLEDGE THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS CURRENTLY LOCATED AT THE PROPERTY OR AREAS LOCATED WITHIN 1,000 FEET OF A SANITARY LANDFILL. RESIDUAL CONCENTRATIONS OF PETROLEUM HYDROCARBONS FROM UNDERGROUND STORAGE TANKS FORMERLY PRESENT AT THE PROPERTY ARE LIKELY TO BE ENCOUNTERED DURING EXCAVATION. APPROPRIATE PROCEDURES FOR THE HANDLING AND DISPOSAL OF PETROLEUM IMPACTED SOIL WILL BE ADDRESSED IN A SOIL MANAGEMENT PLAN. SHOULD ANY UNANTICIPATED UNDERGROUND STORAGE TANKS OR DRUMS BE ENCOUNTERED AT THE SITE, THE APPLICANT SHALL IMMEDIATELY NOTIFY THE CITY OF ALEXANDRIA FIRE DEPARTMENT AND DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, OFFICE OF ENVIRONMENTAL QUALITY.
- 3.) IN ACCORDANCE WITH THE CITY OF ALEXANDRIA'S MARINE CLAY AREAS MAP DATED NOVEMBER 1976, THERE ARE NO AREAS OF MARINE CLAY LOCATED IN THE VICINITY OF THIS SITE.
- 4.) THIS PROJECT IS LOCATED WITHIN A COMBINED SEWER AREA.
- 5.) A TRANSPORTATION SCOPING FORM IS NOT REQUIRED WITH THIS CONCEPT PLAN BECAUSE A DETAILED TRANSPORTATION STUDY HAS ALREADY BEEN COMPLETED.

EXISTING SANITARY FLOWS

45,000 SF OF CHURCH (USE RETAIL/COMMERCIAL FOR COMPUTATIONS)
22 TOWNHOMES

CITY OF ALEXANDRIA RECOMMENDED AVERAGE DESIGN FLOWS:

200 GPD/1000 SF (FOR RETAIL/COMMERCIAL)
350 GPD/UNIT (TOWNHOMES)

200 GPD/1000 SF X 45,000 SF = 9,000 GPD
350 GPD/UNIT X 22 TOWNHOMES = 7,700 GPD

TOTAL = 9,000 GPD + 7,700 GPD = 16,700 GPD OR 0.026 CFS

PEAK FACTOR FOR LATERALS = 4.0
DESIGN FLOW = 16,700 GPD X 4.0 = 66,800 GPD OR 0.104 CFS

CONCEPTUAL SANITARY DESIGN FLOWS

173,759 SF OF CHURCH (USE RETAIL/COMMERCIAL FOR COMPUTATIONS)

CITY OF ALEXANDRIA RECOMMENDED AVERAGE DESIGN FLOWS:

200 GPD/1000 SF (FOR RETAIL/COMMERCIAL)

200 GPD/1000 SF X 173,759 SF = 34,752 GPD OR 0.054 CFS

PEAK FACTOR FOR LATERALS = 4.0
DESIGN FLOW = 34,752 X 4.0 = 138,288 GPD 0.214 CFS

NET INCREASE IN SANITARY FLOWS

EXISTING FLOWS = 66,800 GPD OR 0.104 CFS
PROPOSED FLOWS = 138,288 GPD 0.214 CFS

NET INCREASE = 138,288 GPD - 66,800 GPD = 71,488 GPD OR 0.111 CFS

NOTE: A SANITARY SEWER OUTFALL ANALYSIS WILL BE COMPLETED WITH THE PRELIMINARY SUBMISSION.

STORM WATER MANAGEMENT / BEST MANAGEMENT PRACTICES NARRATIVE

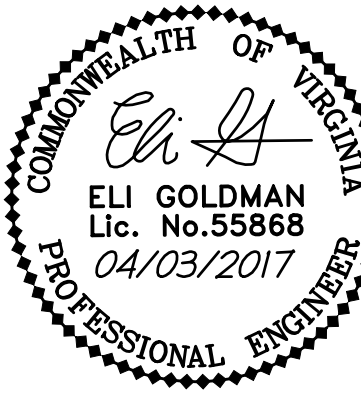
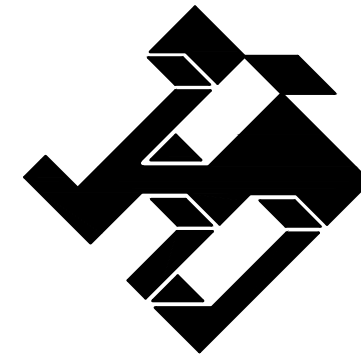
DEFINITION OF 'SITE':
SINCE THIS PROJECT IS DISTURBING GREATER THAN 50% OF THE TAX PARCELS INCLUDED WITH THIS APPLICATION, THE SITE FOR THE SWM/BMP COMPUTATIONS WILL BE CONSIDERED THE TOTAL AREA WITHIN THE PROPERTY LINES (CITY ORDINANCE SECTION 13-103-JJ).

BEST MANAGEMENT PRACTICES (BMP) - STORMWATER QUALITY:
TO MEET THE STATE REQUIREMENTS FOR STORMWATER QUALITY, THE VIRGINIA RUNOFF REDUCTION METHOD SPREADSHEET FOR RE-DEVELOPMENT MUST BE FILLED OUT AND MEET ALL POLLUTANT LOAD REDUCTION REQUIREMENTS. THE CITY'S WQVD REQUIREMENT OF TREATING THE ENTIRE SITE'S WATER QUALITY VOLUME (WQV) NEEDS TO BE MET (13-104-E-1). THE NET INCREASE IN IMPERVIOUS AREA NEEDS TO BE TREATED AS A 'NEW-DEVELOPMENT' (0.41 LBS/ACRE/YEAR OF PHOSPHORUS REMOVAL) AND THE REMAINING IMPERVIOUS AREA WILL BE TREATED AS A 'RE-DEVELOPMENT' (20% REDUCTION OF PHOSPHORUS FROM THE PRE-DEVELOPMENT LOAD). THE SITE CAN BE DESIGNED TO CAPTURE AND TREAT AS MUCH WATER AS POSSIBLE WITH CURBSIDE BIO RETENTION TREE PITS (PER THE CITY'S GREEN SIDEWALK GUIDELINES), URBAN PLANTERS OR STRUCTURED BMPs. PER SECTION 13-110, A FEE-IN-LIEU OF CAN BE PAID FOR THE RETAINING WQV.

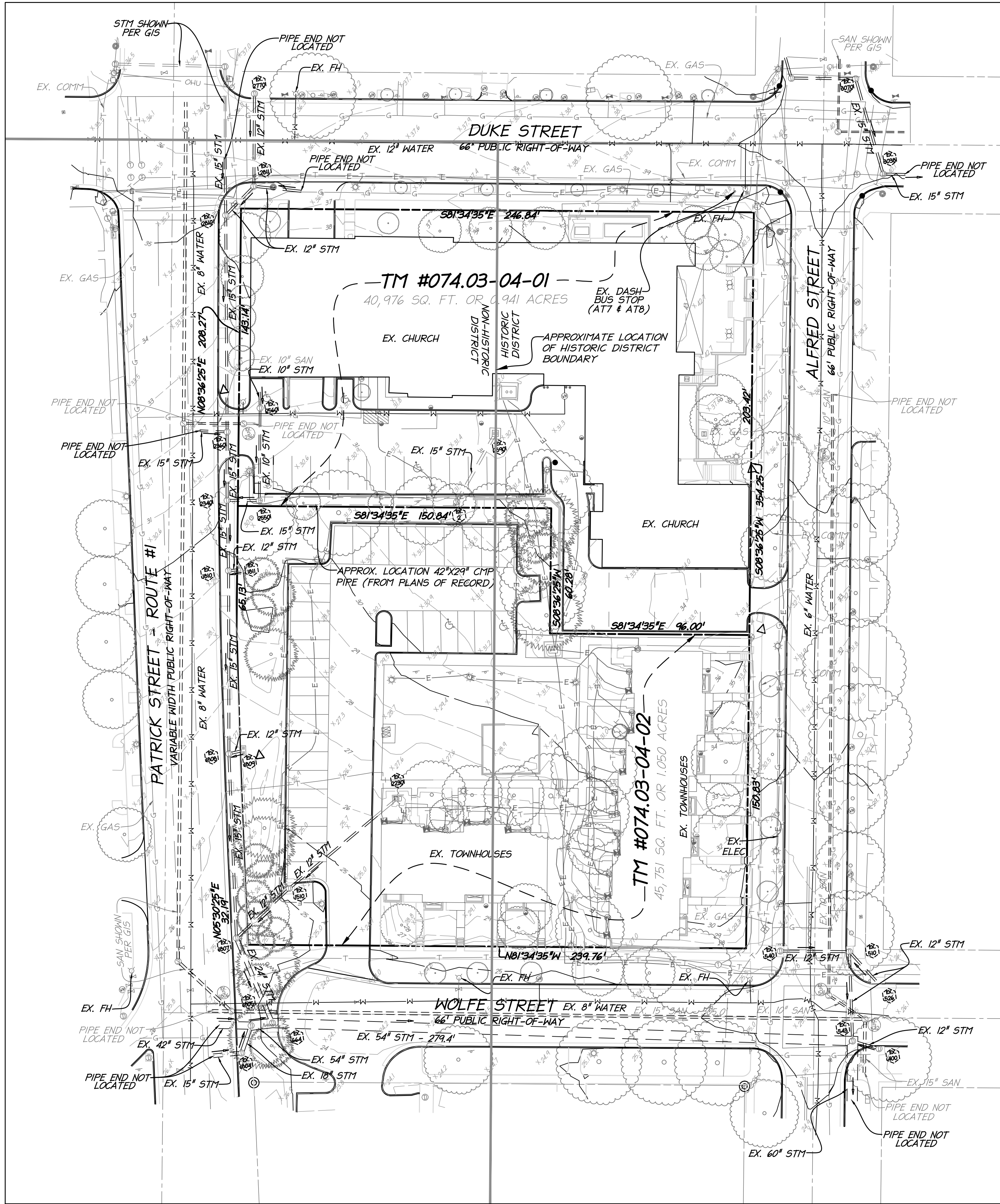
CHANNEL PROTECTION - STORMWATER QUANTITY:
THERE IS ONLY ONE OUTFALL THAT THIS SITE DRAINS TO. SINCE THE ENTIRE STORMWATER CONVEYANCE SYSTEM TO THE END OF THE OUTFALL ANALYSIS IS CONTAINED IN A PIPE, NO DETENTION OR OFF-SITE IMPROVEMENTS ARE NEEDED BECAUSE THE POST-DEVELOPMENT PEAK FLOW RATE FROM THE 2-YEAR 24-HOUR STORM EVENT DOES NOT CAUSE ANY EROSION TO THE SYSTEM (13-108-F-1-A-1). THE EXTENT OF THE CHANNEL PROTECTION REVIEW SHALL BE TO WHEN THE TOTAL WATERSHED AREA IS GREATER THAN 1% OF THE SITE'S CONTRIBUTING AREA. THIS SITE IS A PART OF THE TIMBER BRANCH WATERSHED.

FLOOD PROTECTION - STORMWATER QUALITY:
SINCE THE IMPERVIOUS AREA FOR THE SITE IS BEING INCREASED DETENTION OR OFFSITE IMPROVEMENTS WILL BE REQUIRED FOR FLOOD PROTECTION. IF THE SYSTEM CURRENTLY IS EXPERIENCING NO FLOODING, THEN THE 10-YEAR 24-HOUR STORM NEEDS TO BE CONFINED IN THE STORM SYSTEM AND THE POST DEVELOPMENT PEAK FLOW RATE NEEDS TO BE LESS THAN THE PREDEVELOPMENT PEAK FLOW RATE (13-104-F-2-A). IF THE SYSTEM IS CURRENTLY EXPERIENCING LOCALIZED FLOODING, THEN POST DEVELOPMENT PEAK FLOW RATE NEEDS TO BE LESS THAN THE PREDEVELOPMENT PEAK FLOW RATE (13-104-F-2-B). CURRENTLY THE SITE EXPERIENCES NO FLOODING.

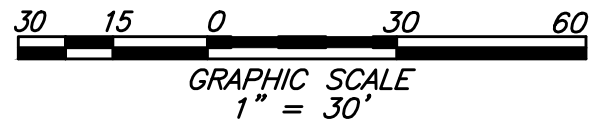
DATE	REVISION
4/13/17	CONCEPT II COMMENTS



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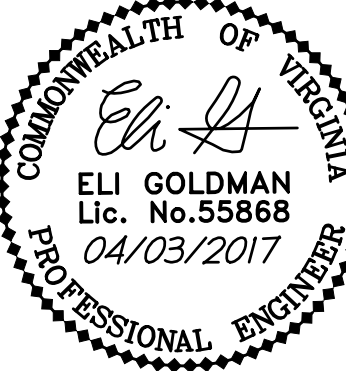
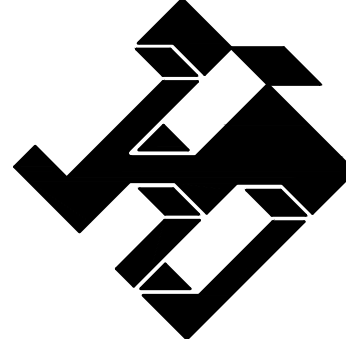


- LEGEND**
- EX. CONTOUR
 - EX. EVERGREEN TREE
 - EX. DECIDUOUS TREE
 - EX. STREET CENTER LINE
 - EX. BOUNDARY
 - EX. OVERHEAD UTILITY LINE
 - EX. STORM SEWER
 - EX. CURB & GUTTER
 - EX. SANITARY SEWER
 - EX. WATER LINE (W/L)
 - EX. GAS LINE
 - EX. TELE. LINE
 - EX. ELEC. LINE
 - EX. ZONE LINE
 - EX. SIGN
 - EX. STORM MANHOLE
 - EX. STORM GRATE
 - EX. SANITARY MANHOLE
 - EX. FIRE HYDRANT
 - EX. WATER VALVE
 - EX. WATER METER (W/M)
 - EX. SANITARY STRUCTURE NUMBER
 - EX. STORM STRUCTURE NUMBER
 - EX. UTILITY POLE
 - EX. LIGHT POLE
 - EX. POWER UTILITY POLE
 - EX. GAS VALVE
 - EX. BOLLARD
 - POWER POLE
 - EX. GUY WIRE



DATE	REVISION
4/3/17	CONCEPT II COMMENTS

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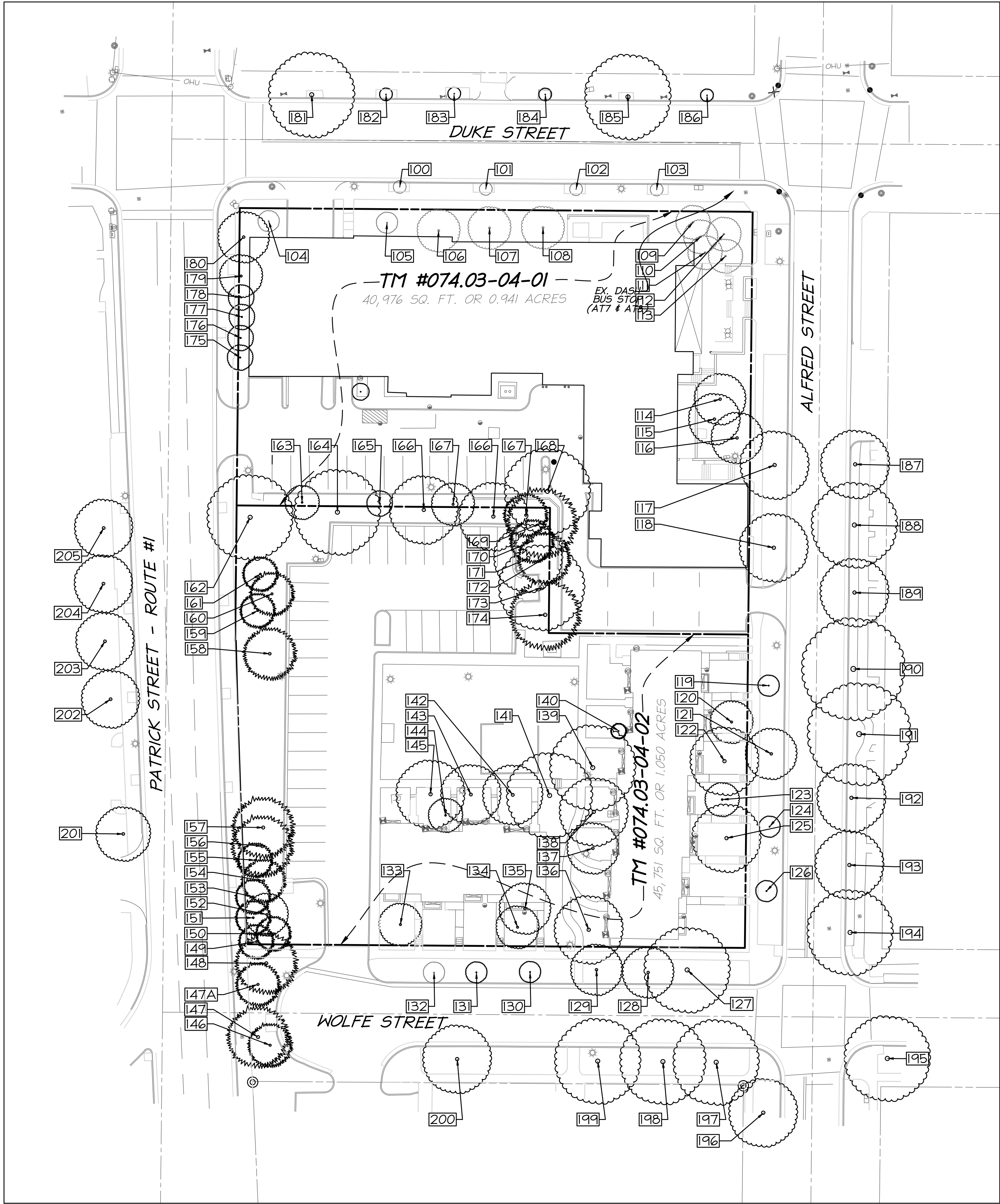
EXISTING CONDITIONS
PLAN

ALFRED STREET
BAPTIST CHURCH
CONCEPT III

THE CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO.11099.002.00
SCALE: 1"=30'
DATE: 12/21/2015
DESIGN: EG DRAWN: EG CHECKED: KMW
SHEET No.

C300
103572



EXISTING TREE SCHEDULE

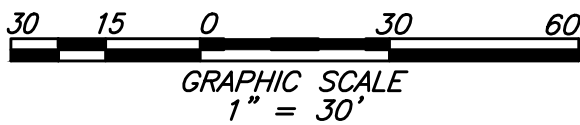
TREE #	BOTANICAL NAME	COMMON NAME	TRUNK DIAMETER (INCHES)	COMMENTS	PROCEDURE
100	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	3		REMOVE
101	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	3		REMOVE
102	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	2		REMOVE
103	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	3		REMOVE
104	CORNUS KOUSA	KOUSA DOGWOOD	6		REMOVE
105	CORNUS KOUSA	KOUSA DOGWOOD	6.8	CODOMINANT	REMOVE
106	BELUTA NIGRA	RIVER BIRCH	3.6.8	MULTISTEM	REMOVE
107	BELUTA NIGRA	RIVER BIRCH	2.6.6	MULTISTEM	REMOVE
108	BELUTA NIGRA	RIVER BIRCH	2.8	MULTISTEM	REMOVE
109	MAGNOLIA X SOULANGEANA	SAUCER MAGNOLIA	4	MULTISTEM	REMOVE
110	ILEX AMERICANA	AMERICAN HOLLY	5.6	CODOMINANT	REMOVE
111	ILEX AMERICANA	AMERICAN HOLLY	4		REMOVE
112	MAGNOLIA X SOULANGEANA	SAUCER MAGNOLIA	4	MULTISTEM	REMOVE
113	ILEX AMERICANA	AMERICAN HOLLY	5.8	CODOMINANT	REMOVE
114	BELUTA NIGRA	RIVER BIRCH	4.12	MULTISTEM	REMOVE
115	BELUTA NIGRA	RIVER BIRCH	8.10	MULTISTEM	REMOVE
116	BELUTA NIGRA	RIVER BIRCH	6.6.8	MULTISTEM	REMOVE
117	PYRUS CALLERYANA	BRADFORD PEAR	13		REMOVE
118	PYRUS CALLERYANA	BRADFORD PEAR	16		REMOVE
119	QUERCUS RUBRA	RED OAK	2		PRESERVE
120	MALUS VAR.	CRABAPPLE	10		REMOVE
121	FRAXINUS PENNSYLVANICA	GREEN ASH	11		PRESERVE
122	MALUS VAR.	CRABAPPLE	6.12	CODOMINANT	REMOVE
123	PRUNUS SERRULATA	JAPANESE CHERRY	3.4	CODOMINANT	REMOVE
124	QUERCUS RUBRA	RED OAK	2		PRESERVE
125	MALUS VAR.	CRABAPPLE	14		REMOVE
126	QUERCUS RUBRA	RED OAK	2		PRESERVE
127	QUERCUS RUBRA	RED OAK	14		REMOVE
128	FRAXINUS PENNSYLVANICA	GREEN ASH	10		REMOVE
129	FRAXINUS PENNSYLVANICA	GREEN ASH	8		REMOVE
130	QUERCUS RUBRA	RED OAK	2		REMOVE
131	QUERCUS RUBRA	RED OAK	2		REMOVE
132	QUERCUS RUBRA	RED OAK	2		REMOVE
133	MALUS VAR.	CRABAPPLE	8		REMOVE
134	MALUS VAR.	CRABAPPLE	11		REMOVE
135	ULMUS AMERICANA	AMERICAN ELM	10	LEANING AWAY FROM BLDG.	REMOVE
136	MALUS VAR.	CRABAPPLE	20		REMOVE
137	MALUS VAR.	CRABAPPLE	12		REMOVE
138	MALUS VAR.	CRABAPPLE	12		REMOVE
139	MALUS VAR.	CRABAPPLE	10.16	MULTISTEM	REMOVE
140	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	4		REMOVE
141	ACER RUBRUM COLUMNAR	COLUMNAR RED MAPLE	12		REMOVE
142	MALUS VAR.	CRABAPPLE	10.10	MULTISTEM	REMOVE
143	MALUS VAR.	CRABAPPLE	14		REMOVE
144	ACER RUBRUM COLUMNAR	COLUMNAR RED MAPLE	9		REMOVE
145	MALUS VAR.	CRABAPPLE	10.10	MULTISTEM	REMOVE
146	PINUS STROBUS	WHITE PINE	9		PRESERVE
147	PINUS STROBUS	WHITE PINE	11		PRESERVE
147A	PINUS STROBUS	WHITE PINE	8		PRESERVE
148	PINUS STROBUS	WHITE PINE	12		PRESERVE
149	PINUS STROBUS	WHITE PINE	6		REMOVE
150	PINUS STROBUS	WHITE PINE	6		REMOVE
151	PINUS STROBUS	WHITE PINE	7		REMOVE
152	ACER RUBRUM COLUMNAR	COLUMNAR RED MAPLE	11		REMOVE
153	PINUS STROBUS	WHITE PINE	6		REMOVE
154	PINUS STROBUS	WHITE PINE	8		REMOVE
155	PINUS STROBUS	WHITE PINE	7		REMOVE
156	PINUS STROBUS	WHITE PINE	12		REMOVE
157	PINUS STROBUS	WHITE PINE	11		REMOVE
158	PINUS STROBUS	WHITE PINE	11		REMOVE
159	PINUS STROBUS	WHITE PINE	11		REMOVE
160	PINUS STROBUS	WHITE PINE	9		REMOVE
161	PINUS STROBUS	WHITE PINE	10		REMOVE
162	ALANTHUS ALTISSIMA	TREE OF HEAVEN	10.11	CODOMINANT	REMOVE
163	ACER RUBRUM COLUMNAR	COLUMNAR RED MAPLE	5		REMOVE
164	ULMUS AMERICANA	AMERICAN ELM	12.20		REMOVE
165	ACER RUBRUM COLUMNAR	COLUMNAR RED MAPLE	4		REMOVE
166	TILIA CORDATA	LITTLELEAF LINDEN	12		REMOVE
167	PINUS STROBUS	WHITE PINE	10		REMOVE
168	ACER RUBRUM	RED MAPLE	12		REMOVE
169	PINUS STROBUS	WHITE PINE	13		REMOVE
170	PINUS STROBUS	WHITE PINE	9		REMOVE
171	TILIA CORDATA	LITTLELEAF LINDEN	14		REMOVE
172	PINUS STROBUS	WHITE PINE	10		REMOVE
173	ALANTHUS ALTISSIMA	TREE OF HEAVEN	18		REMOVE
174	PINUS STROBUS	WHITE PINE	11		REMOVE
175	TILIA CORDATA	LITTLELEAF LINDEN	6		REMOVE
176	TILIA CORDATA	LITTLELEAF LINDEN	6		REMOVE
177	TILIA CORDATA	LITTLELEAF LINDEN	6		REMOVE
178	TILIA CORDATA	LITTLELEAF LINDEN	7		REMOVE
179	ACER RUBRUM COLUMNAR	COLUMNAR RED MAPLE	11		REMOVE
180	ACER RUBRUM COLUMNAR	COLUMNAR RED MAPLE	14		REMOVE
181	ULMUS AMERICANA	AMERICAN ELM	14		PRESERVE
182	TILIA CORDATA	LITTLELEAF LINDEN	3		PRESERVE
183	TILIA CORDATA	LITTLELEAF LINDEN	4	GASH ENCIRCLING TRUNK	PRESERVE
184	LAGERSTROEMIA INDICA	GRAPE MYRTLE	1	6' HEIGHT, MULTISTEM	PRESERVE
185	ACER RUBRUM	RED MAPLE	12		PRESERVE
186	TILIA CORDATA	LITTLELEAF LINDEN	3		PRESERVE
187	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	10		PRESERVE
188	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	11		PRESERVE
189	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	12		PRESERVE
190	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	13		PRESERVE
191	TILIA CORDATA	LITTLELEAF LINDEN	14		PRESERVE
192	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	12		PRESERVE
193	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	10		PRESERVE
194	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	10		PRESERVE
195	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	10		PRESERVE
196	QUERCUS PHELLOS	WILLOW OAK	10		PRESERVE
197	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	8		PRESERVE
198	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	10		PRESERVE
199	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	10		PRESERVE
200	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	8		PRESERVE
201	ACER RUBRUM COLUMNAR	COLUMNAR RED MAPLE	10		PRESERVE
202	GINKGO BILOBA	GINKGO	10		PRESERVE
203	GINKGO BILOBA	GINKGO	10		PRESERVE
204	GINKGO BILOBA	GINKGO	10		PRESERVE
205	GINKGO BILOBA	GINKGO	10		PRESERVE

DATE	REVISION
4/3/17	CONCEPT II COMMENTS

LEGEND

• : EX. EVERGREEN TREE

• : EX. DECIDUOUS TREE



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COMMONWEALTH OF VIRGINIA

ELI GOLDMAN

Lic. No. 55868

04/03/2017

PROFESSIONAL ENGINEER

EXISTING TREES EXHIBIT

ALFRED STREET

BAPTIST CHURCH

CONCEPT III

THE CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO:11099.002.00

SCALE: 1"=30'

DATE: 12/21/2015

DESIGN: EG

DRAWN: EG

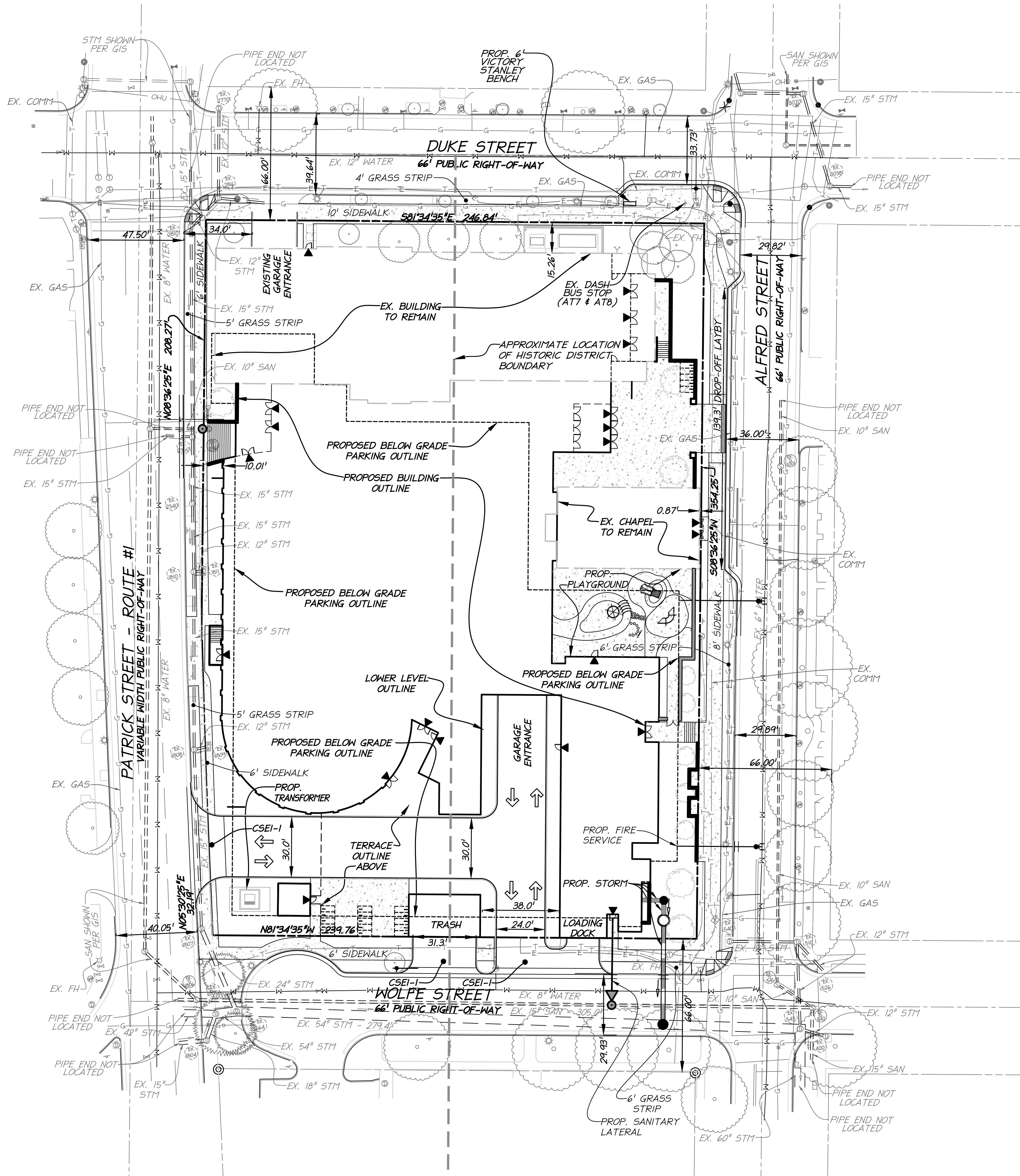
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SHEET No.

C301

103572

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DATE	REVISION
4/3/17	CONCEPT II COMMENTS

LEGEND

○ : EX. EVERGREEN TREE

○ : EX. DECIDUOUS TREE

— : STREET CENTER LINE

— : EX. RIGHT OF WAY

— : EX. CURB & GUTTER

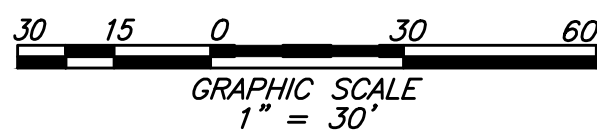
— : PROP. CURB & GUTTER

— : PROP. BUILDING OUTLINE

— : PROP. BELOW GROUND LEVEL

▲ : PROP. BUILDING ENTRANCE

NOTES:
1. ALL REDEVELOPED SIDEWALKS WILL BE CITY STANDARD BRICK SIDEWALKS UNLESS OTHERWISE NOTED.



christopher consultants

engineering · surveying · land planning

9900 main street (fourth floor) · Fairfax, VA 22030

phone 703.273.6820 · fax 703.273.7636

COMMONWEALTH OF VIRGINIA

ELI GOLDMAN

Lic. No. 55868

04/03/2017

PROFESSIONAL ENGINEER

CONCEPT PLAN

ALFRED STREET
BAPTIST CHURCH
CONCEPT II

THE CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO:11099.002.00

SCALE: 1"=30'

DATE: 12/21/2015

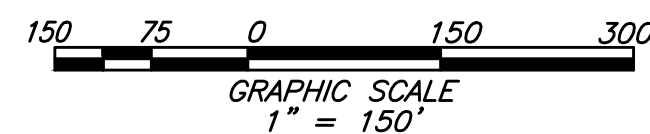
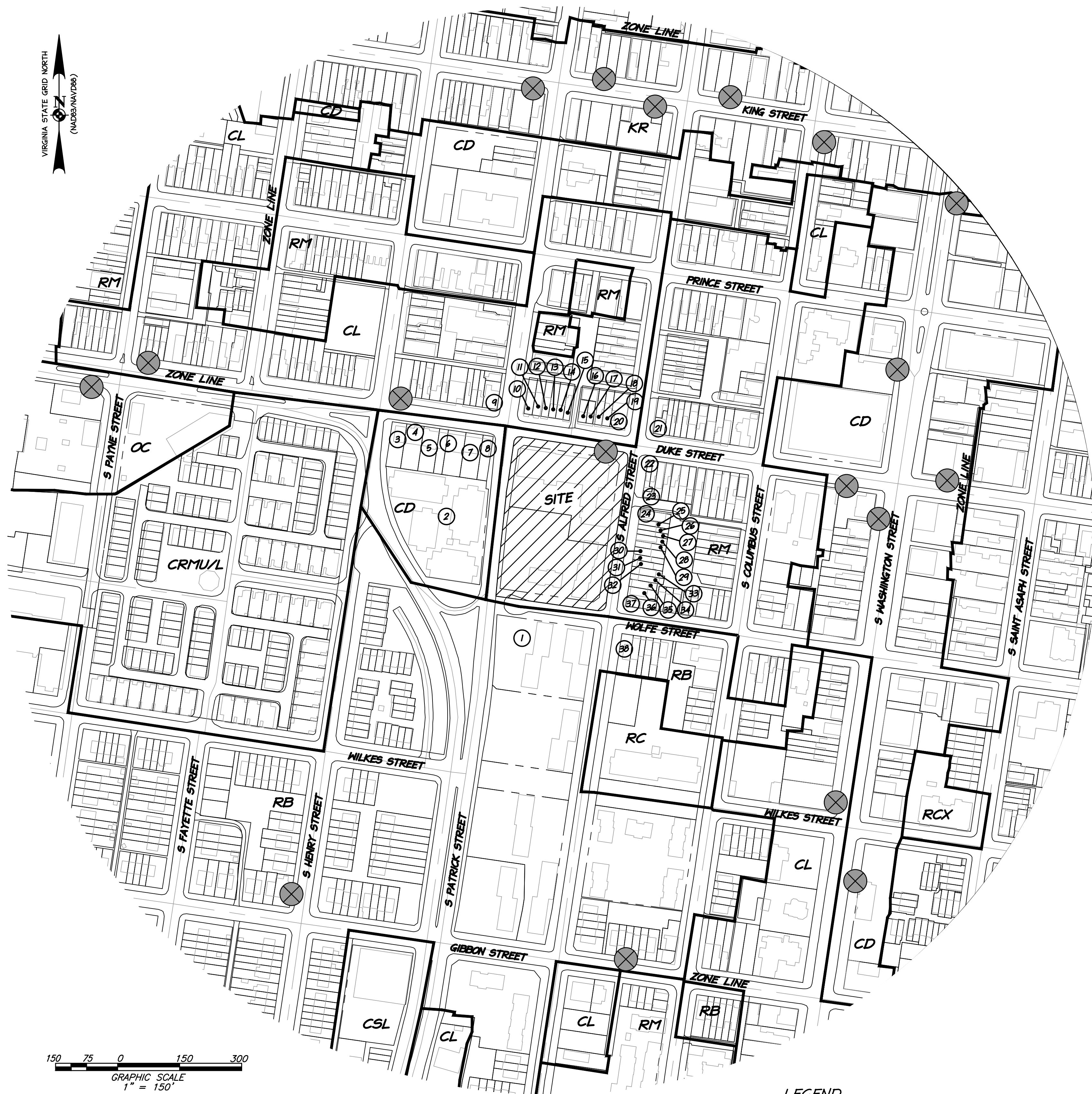
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CHECKED: K1W

SHEET No.

C400

103572

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LEGEND

- SITE
- OWNER INFORMATION NUMBER
- DASH BUS STOP
- PROPERTY LINE
- STREET CENTER LINE
- ZONING LINE

OWNERSHIP INFORMATION

1. AP HERITAGE LLC
900 WOLFE ST
USE: RESIDENTIAL
ZONE: RB
2. ALEXANDRIA GATEWAY CONDOMINIUMS
305 S PATRICK ST
USE: CONDOMINIUM/OFFICE
ZONE: CD
3. WARD & SON PROPERTIES LLC
1022 DUKE ST
USE: OFFICE
ZONE: CD
4. DUKE ASSOCIATIONS LP
1020 DUKE ST
USE: OFFICE
ZONE: CD
5. AMER. SOCIETY FOR HORTICULTURAL SCIENCE
1018 DUKE ST
USE: OFFICE
ZONE: CD
6. AMER. ASSOCIATION OF PORT AUTHORITIES
1010, 1016 DUKE ST
USE: OFFICE
ZONE: CD
7. ASA LIMITED PARTNERSHIP
1004 DUKE ST
USE: OFFICE
ZONE: CD
8. PARADIGM PROPERTIES LLC
1000 DUKE ST
USE: OFFICE
ZONE: CD
9. TODD F LUONGO
1001 DUKE ST
USE: RESIDENTIAL
ZONE: CL
10. SAMUEL ROBERT HENRY / ANN R
921 DUKE ST
USE: RESIDENTIAL
ZONE: CL
11. INGES PROPERTIES
919 DUKE ST
USE: JR OFFICE BUILDING
ZONE: CL
12. MICHELLE M ROESER
917 DUKE ST
USE: RESIDENTIAL
ZONE: CL
13. CURTIS R JACKSON / ELIZABETH G
915 DUKE ST
USE: JR OFFICE BUILDING
ZONE: CL
14. MICHAEL D DECKER
913 DUKE ST
USE: GENERAL COMMERCIAL
ZONE: CL
15. THOMAS V OKEEFE JR / ELISE A
911 DUKE ST
USE: RESIDENTIAL
ZONE: CL
16. GUILLERMO MATA
909 DUKE ST
USE: RESIDENTIAL
ZONE: CL
17. KELLI A KORDICH / JEAN L
907 DUKE ST
USE: RESIDENTIAL
ZONE: CL
18. ARTHUR L NALLS JR
905 DUKE ST
USE: RESIDENTIAL
ZONE: CL
19. SHARON V HURLEY
903 DUKE ST
USE: RESIDENTIAL
ZONE: CL
20. S ALFRED ST PARTNERSHIP
221 S ALFRED ST
USE: OFFICE
ZONE: CL
21. ALLAN WHITE & JILL TRS
825 DUKE ST
USE: RESIDENTIAL
ZONE: RM
22. JOEL L BASKIN III / ZEMPHRIA R
826 DUKE ST
USE: RESIDENTIAL
ZONE: RM
23. CARA FRANKENFELD / FRITZ J MCDOUGALL
824 DUKE ST
USE: RESIDENTIAL
ZONE: RM
24. MAGGIE J BUTLER
310 S ALFRED ST
USE: RESIDENTIAL
ZONE: RM
25. ANGELA J CALANNI
312 S ALFRED ST
USE: RESIDENTIAL
ZONE: RM
26. CHRISTOPHER MORRIS JOHNSON
314 S ALFRED ST
USE: RESIDENTIAL
ZONE: RM
27. CARRIE L JOLLY
314 1/2 S ALFRED ST
USE: RESIDENTIAL
ZONE: RM
28. ANDREW THOMPSON
316 S ALFRED ST
USE: RESIDENTIAL
ZONE: RM
29. MARY TERESA NOKES
318 S ALFRED ST
USE: RESIDENTIAL
ZONE: RM
30. ALBERT C PIERCE / MARY ANN
320 S ALFRED ST
USE: RESIDENTIAL
ZONE: RM
31. MARGARET ANN BARRY
322 S ALFRED ST
USE: RESIDENTIAL
ZONE: RM
32. JASON MORDA
324 S ALFRED ST
USE: RESIDENTIAL
ZONE: RM
33. ROBERT H CREASON
326 S ALFRED ST
USE: RESIDENTIAL
ZONE: RM
34. MELISSA H MARLAND
328 S ALFRED ST
USE: RESIDENTIAL
ZONE: RM
35. CHARLENE M FRENCH / DAVID A
330 S ALFRED ST
USE: RESIDENTIAL
ZONE: RM
36. SARAH E BOWLES / TERRY J
332 S ALFRED ST
USE: RESIDENTIAL
ZONE: RM
37. PAULA / PETER GLASER
827 WOLFE ST
USE: RESIDENTIAL
ZONE: RM
38. DIANNE C OEHMS
824 WOLFE ST
USE: RESIDENTIAL
ZONE: RB

DATE	REVISION
4/3/17	CONCEPT II COMMENTS

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CONTEXTUAL PLAN

ALFRED STREET
BAPTIST CHURCH
CONCEPT II

THE CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO: 11099.002.00
SCALE: 1"=30'

DATE: 12/21/2015

DESIGN: EG
DRAWN: EG
CHECKED: KMW

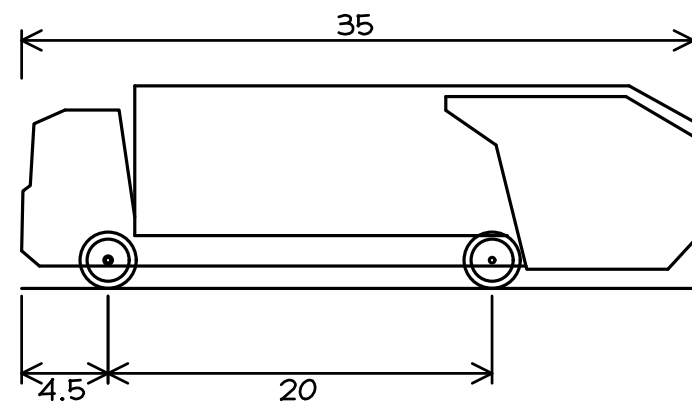
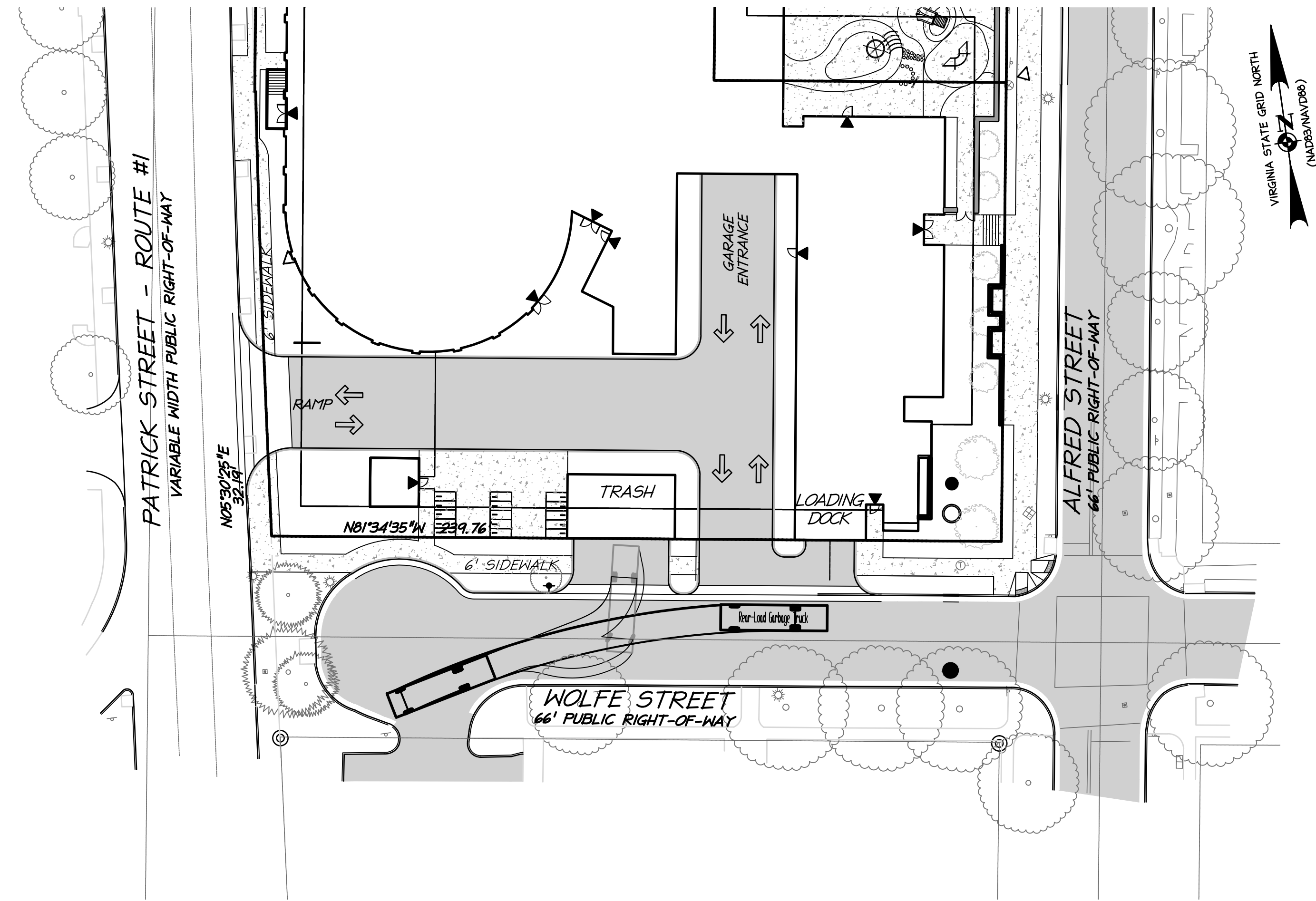
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C500
103572

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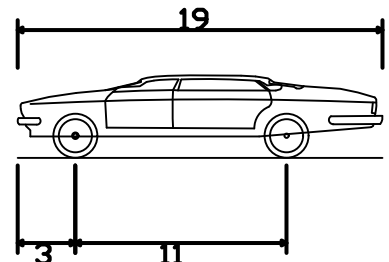
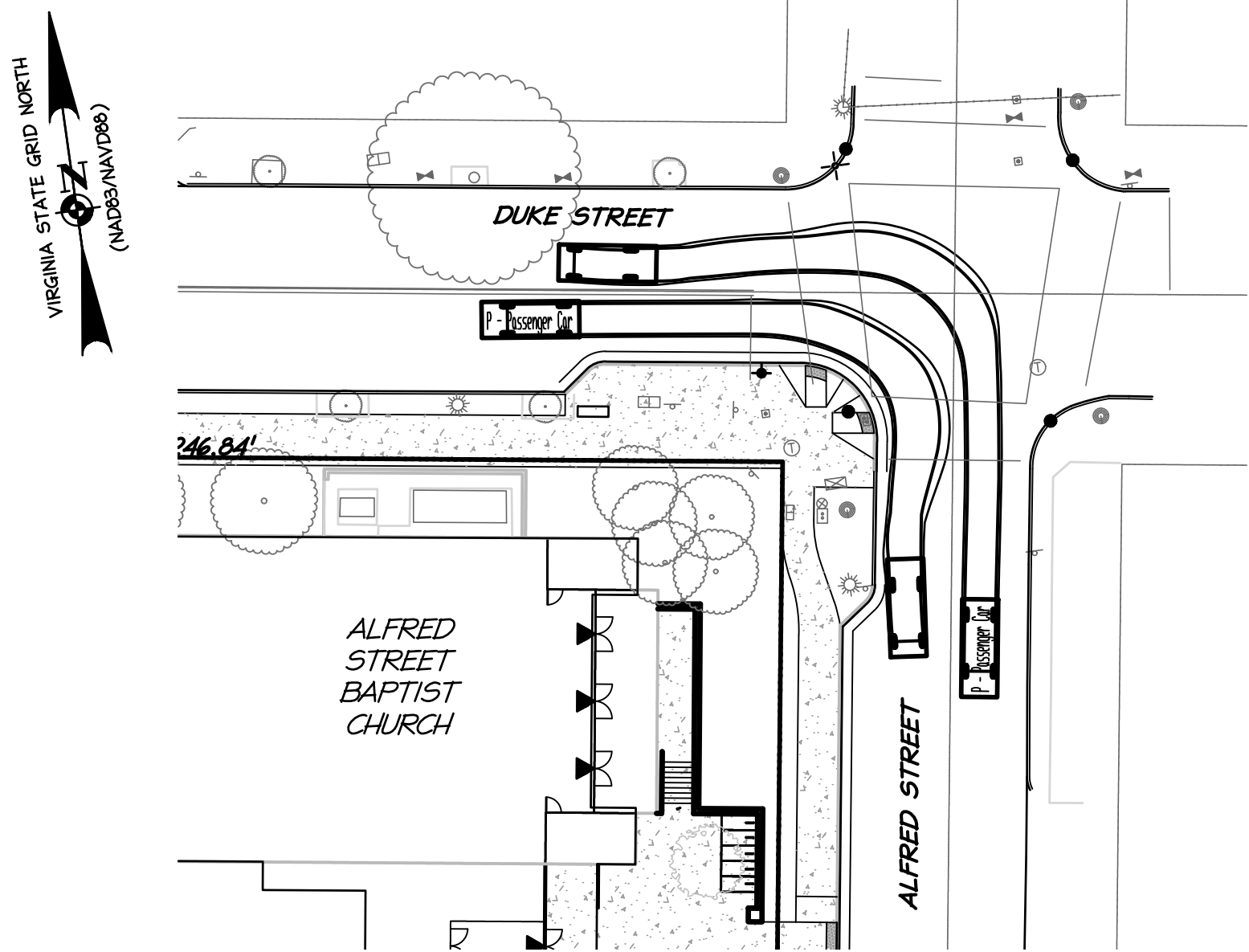
DATE	REVISION
4/3/17	CONCEPT II COMMENTS

TRASH TRUCK ENTERING LOADING BAY:



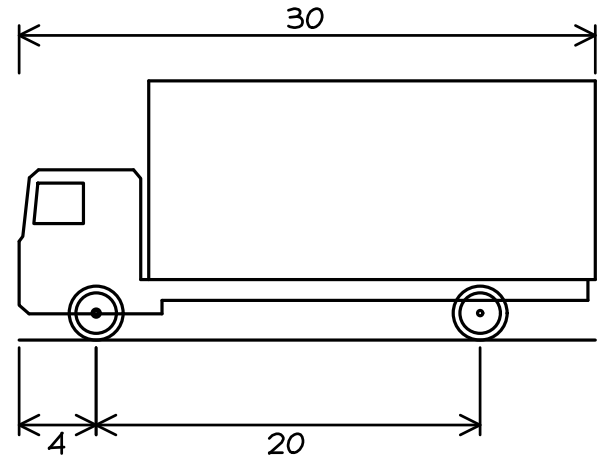
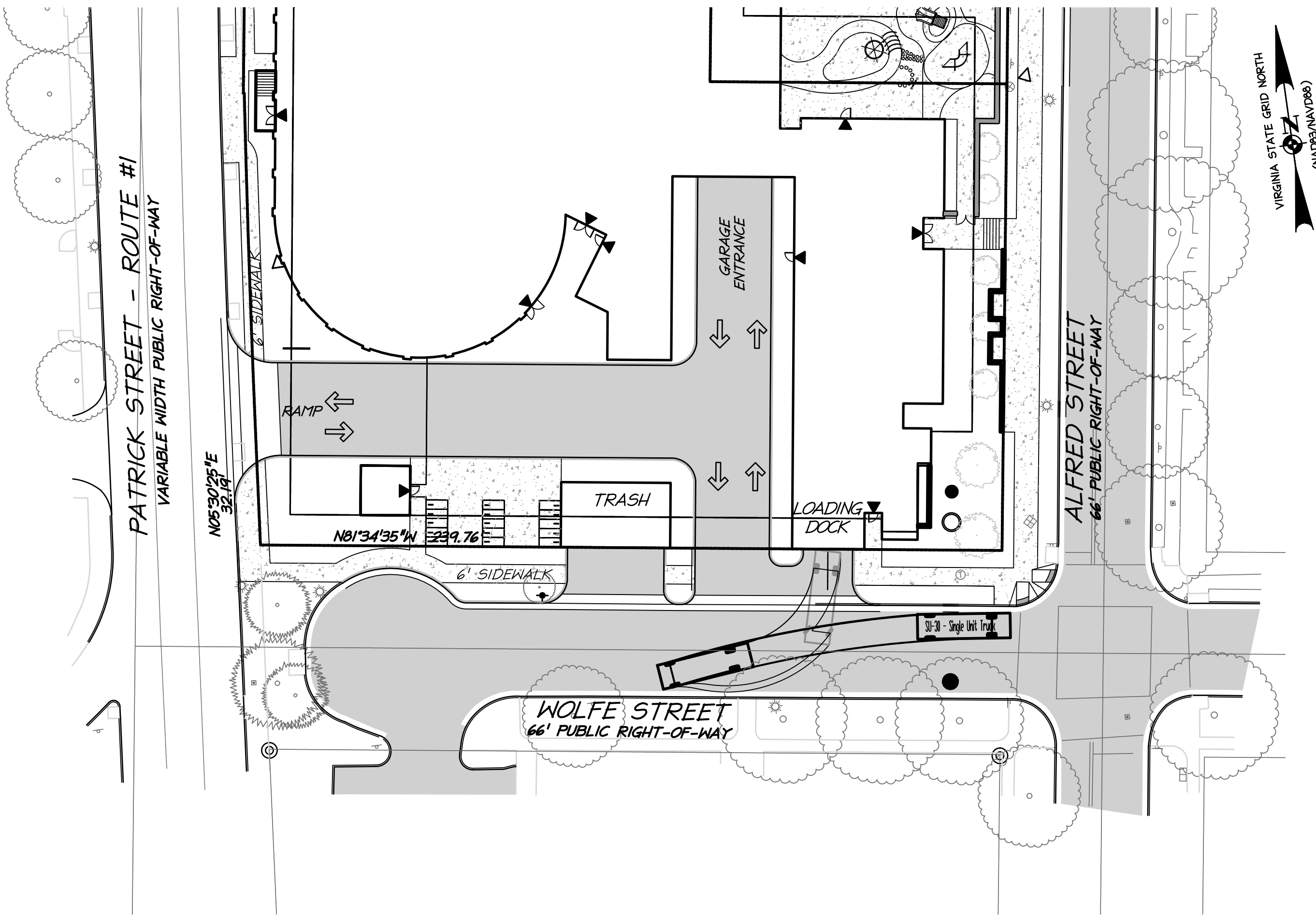
Rear-Load Garbage Truck
Overall Length 35.000 ft
Overall Width 8.375 ft
Overall Body Height 10.546 ft
Min Body Ground Clearance 1.000 ft
Track Width 8.375 ft
Lock-to-lock time 6.00 s
Curb to Curb Turning Radius 29.300 ft

STANDARD PASSENGER CAR AT DUKE STREET AND ALFRED STREET INTERSECTION:

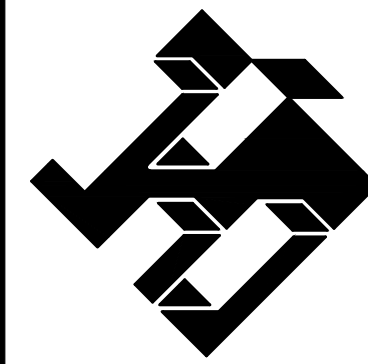
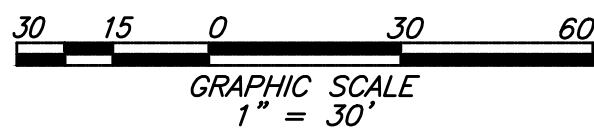


P - Passenger Car
Overall Length 19.000ft
Overall Width 7.000ft
Overall Body Height 4.300ft
Min Body Ground Clearance 1.115ft
Track Width 6.000ft
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 23.800ft

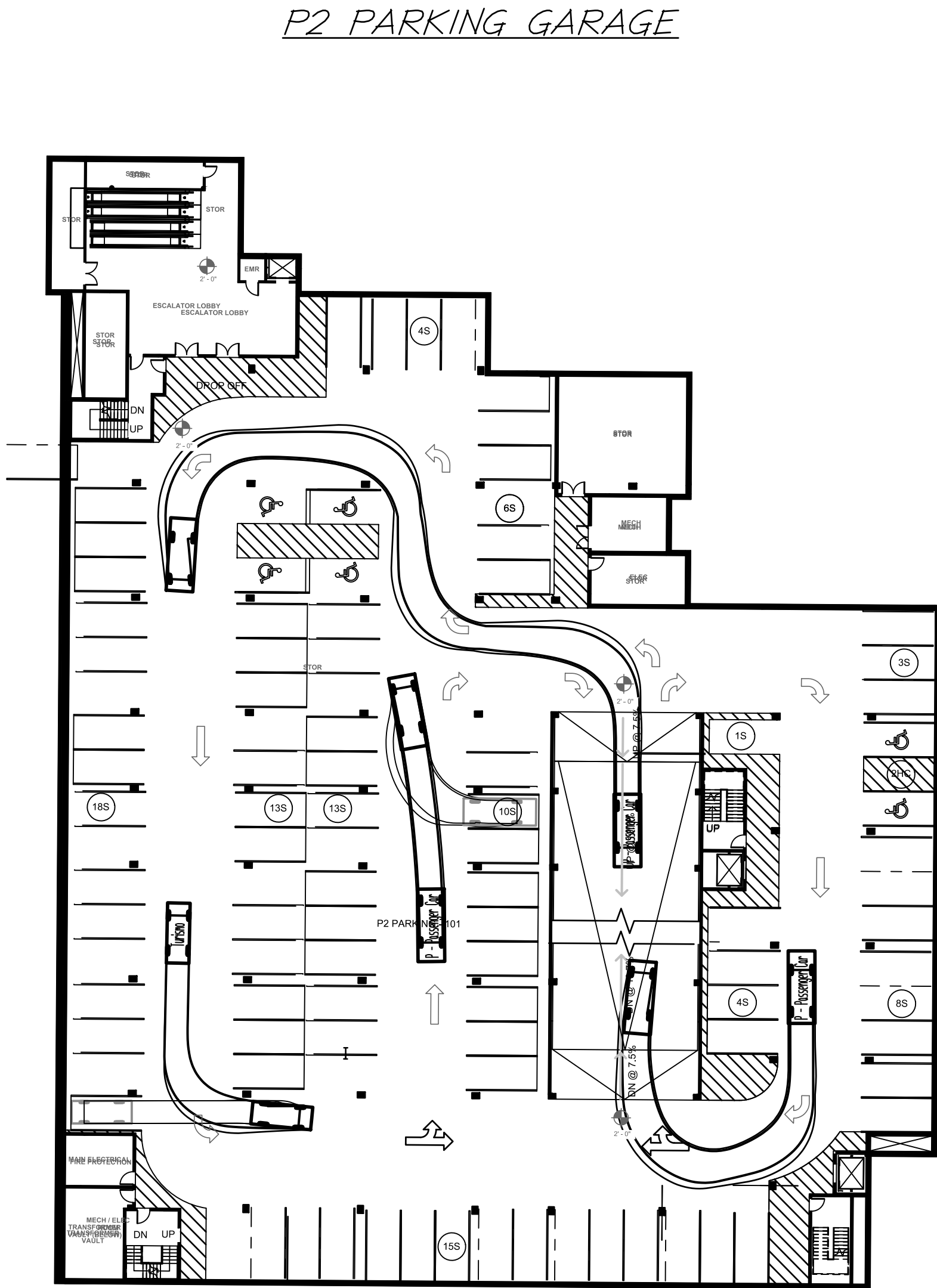
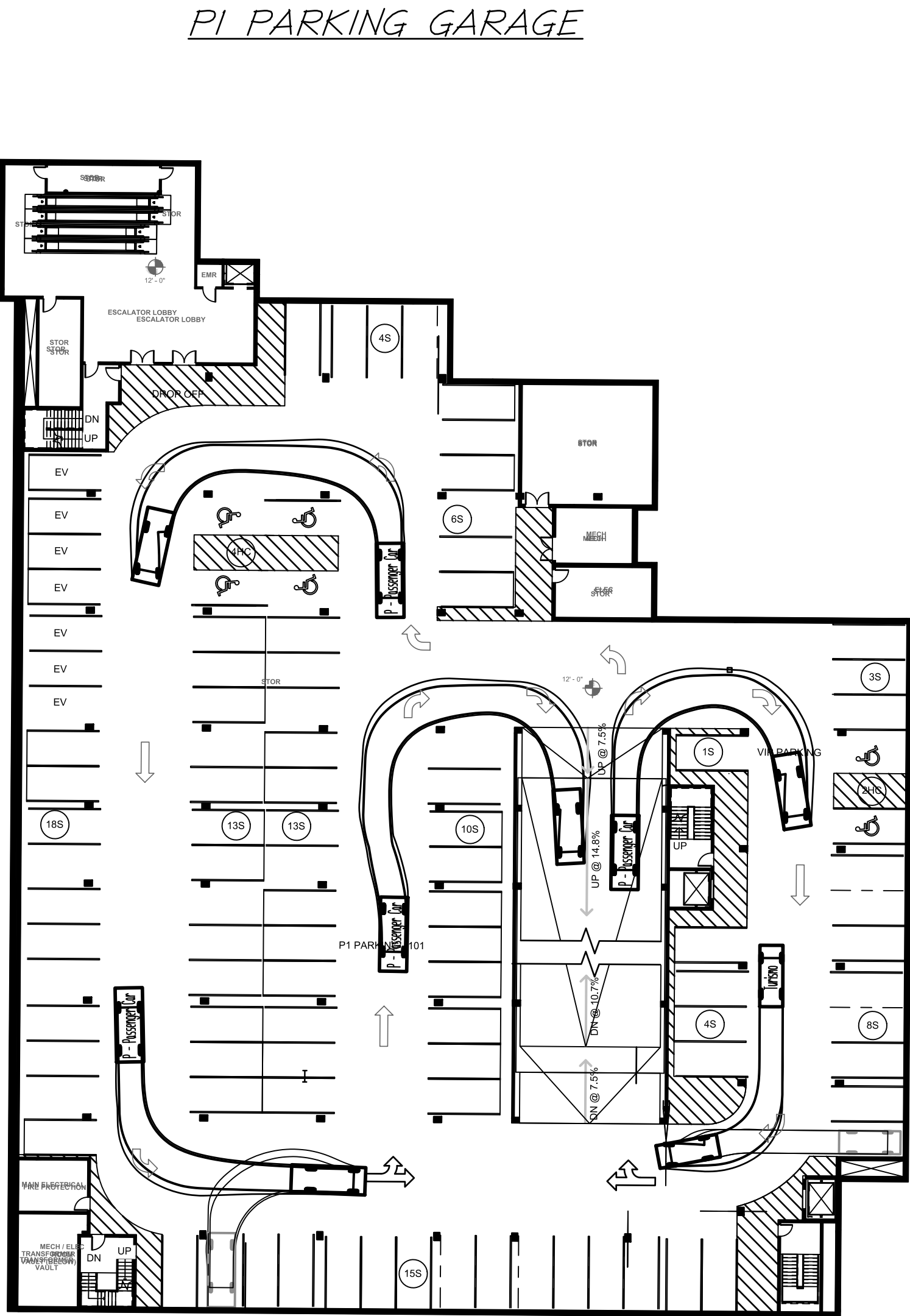
SU-30 ENTERING LOADING BAY:



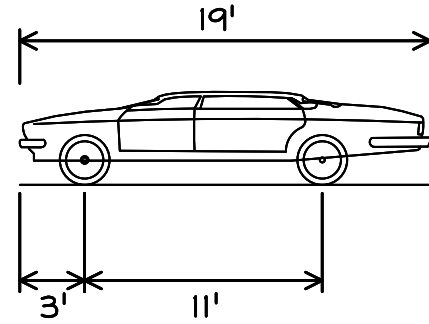
SU-30 - Single Unit Truck
Overall Length 30.000 ft
Overall Width 8.000 ft
Overall Body Height 13.500 ft
Min Body Ground Clearance 1.367 ft
Track Width 8.000 ft
Lock-to-lock time 5.00 s
Curb to Curb Turning Radius 41.800 ft



P:\Projects\11099 ASBC\00200\103572 Concept 2\CG02 TURNING MOVEMENTS PARKING GARAGE.dwg, 4/3/2017 8:40:14 AM, eligoldman.1.1, christopher consultants, ltd

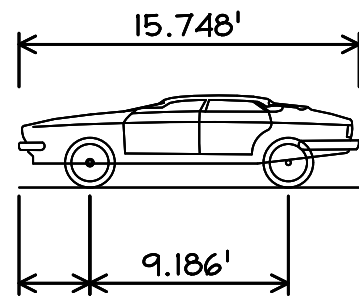


DATE	REVISION
4/3/17	CONCEPT II COMMENTS



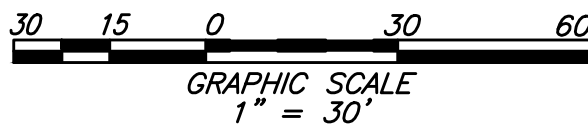
Passenger Car
Overall Length 19.000ft
Overall Width 7.000ft
Overall Body Height 4.500ft
Min Body Ground Clearance 1.187ft
Track Width 6.000ft
Lock-to-lock time 4.00s
Max Steering Angle (Virtual) 31.60°

19.000ft
7.000ft
4.500ft
1.187ft
6.000ft
4.00s
31.60°

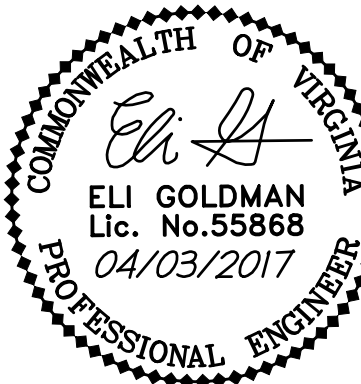
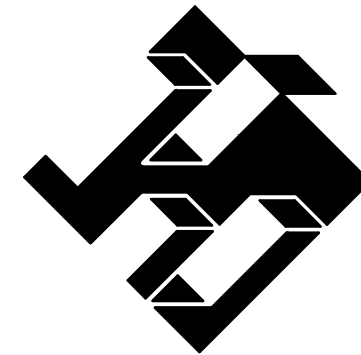


COMPACT
Overall Length 15.748ft
Overall Width 5.906ft
Overall Body Height 4.265ft
Min Body Ground Clearance 1.187ft
Track Width 5.060ft
Lock-to-lock time 4.00s
Wall to Wall Turning Radius 22.310ft

15.748ft
5.906ft
4.265ft
1.187ft
5.060ft
4.00s
22.310ft



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**TURNING MOVEMENTS
PARKING GARAGE**

**ALFRED STREET
BAPTIST CHURCH
CONCEPT II**

THE CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO:11099.002.00

SCALE: 1"=30'

DATE: 12/21/2015

DESIGN: EG
DRAWN: EG
CHECKED: K1W

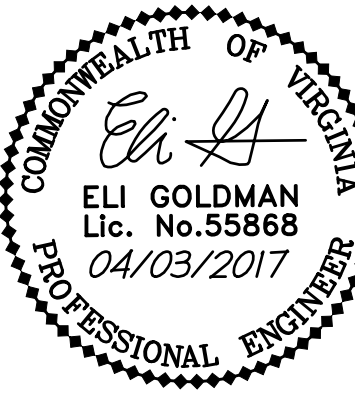
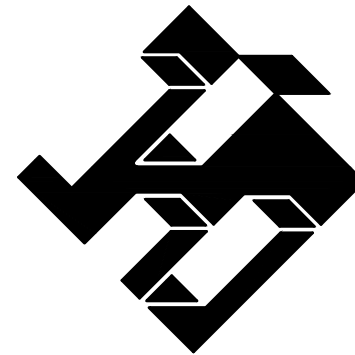
SHEET No.

C601
103572

P:\Projects\11099 ASBC\00200\103572 Concept 2\CG02 TURNING MOVEMENTS PARKING GARAGE.dwg, 4/3/2017 8:40:28 AM, eligoldman.1.1, christopher consultants, ltd

DATE	REVISION
4/3/17	CONCEPT II COMMENTS

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TURNING MOVEMENTS
PARKING GARAGE

ALFRED STREET
BAPTIST CHURCH
CONCEPT II

THE CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO:11099.002.00

SCALE: 1"=30'

DATE: 12/21/2015

DESIGN: EG
DRAWN: EG
CHECKED: KTW

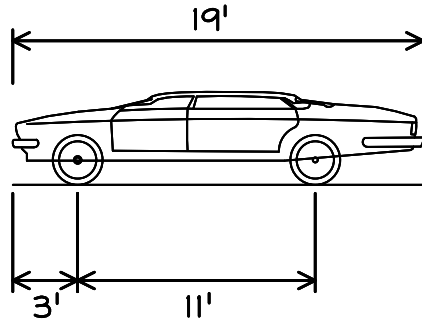
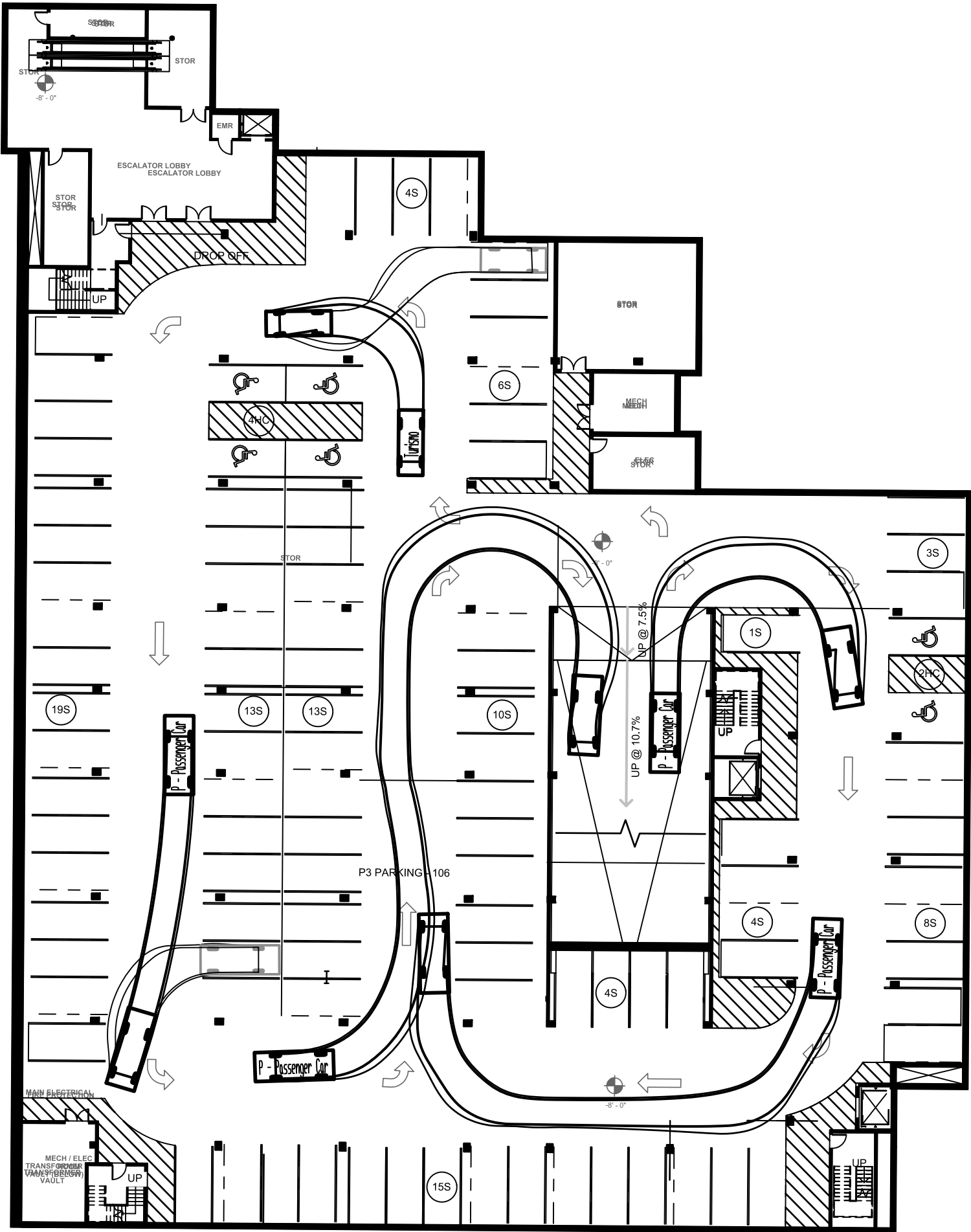
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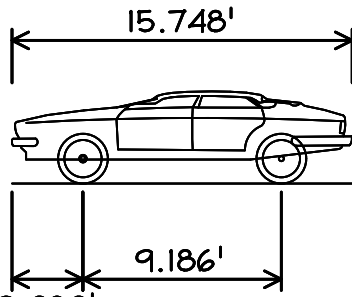
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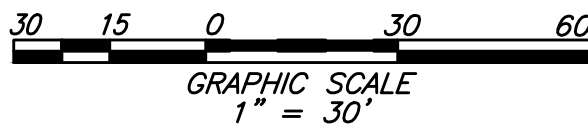
P3 PARKING GARAGE



Passenger Car
Overall Length 19.000ft
Overall Width 7.000ft
Overall Body Height 4.300ft
Min Body Ground Clearance 1.115ft
Track Width 6.000ft
Lock-to-lock time 4.00s
Max Steering Angle (Virtual) 31.60°



COMPACT
Overall Length 15.748ft
Overall Width 5.906ft
Overall Body Height 4.265ft
Min Body Ground Clearance 1.115ft
Track Width 5.406ft
Lock-to-lock time 4.00s
Wall to Wall Turning Radius 22.310ft



OWNER

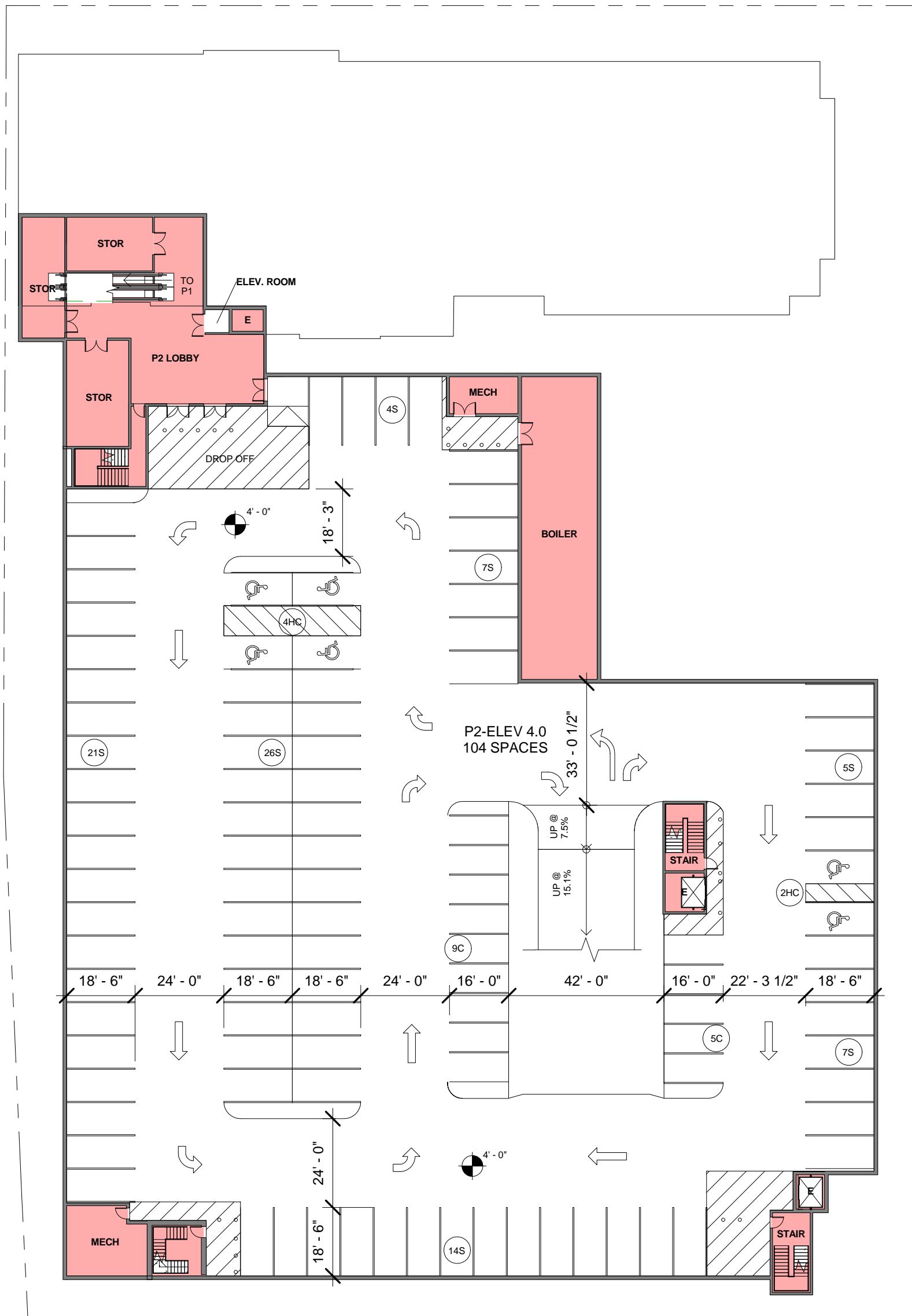
ALFRED STREET BAPTIST CHURCH
301 SOUTH ALFRED STREET
ALEXANDRIA, VA 22314
TEL 703.683.2222 FAX 703.683.1718

ARCHITECT OF RECORD

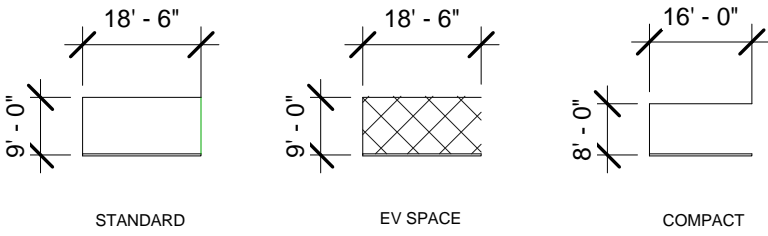
HCO, Inc.
3921 NORTH MERIDIAN STREET, STE 100
INDIANAPOLIS, IN 46206-4011
TEL 317.923.3737 FAX 317.923.3730

CIVIL ENGINEER

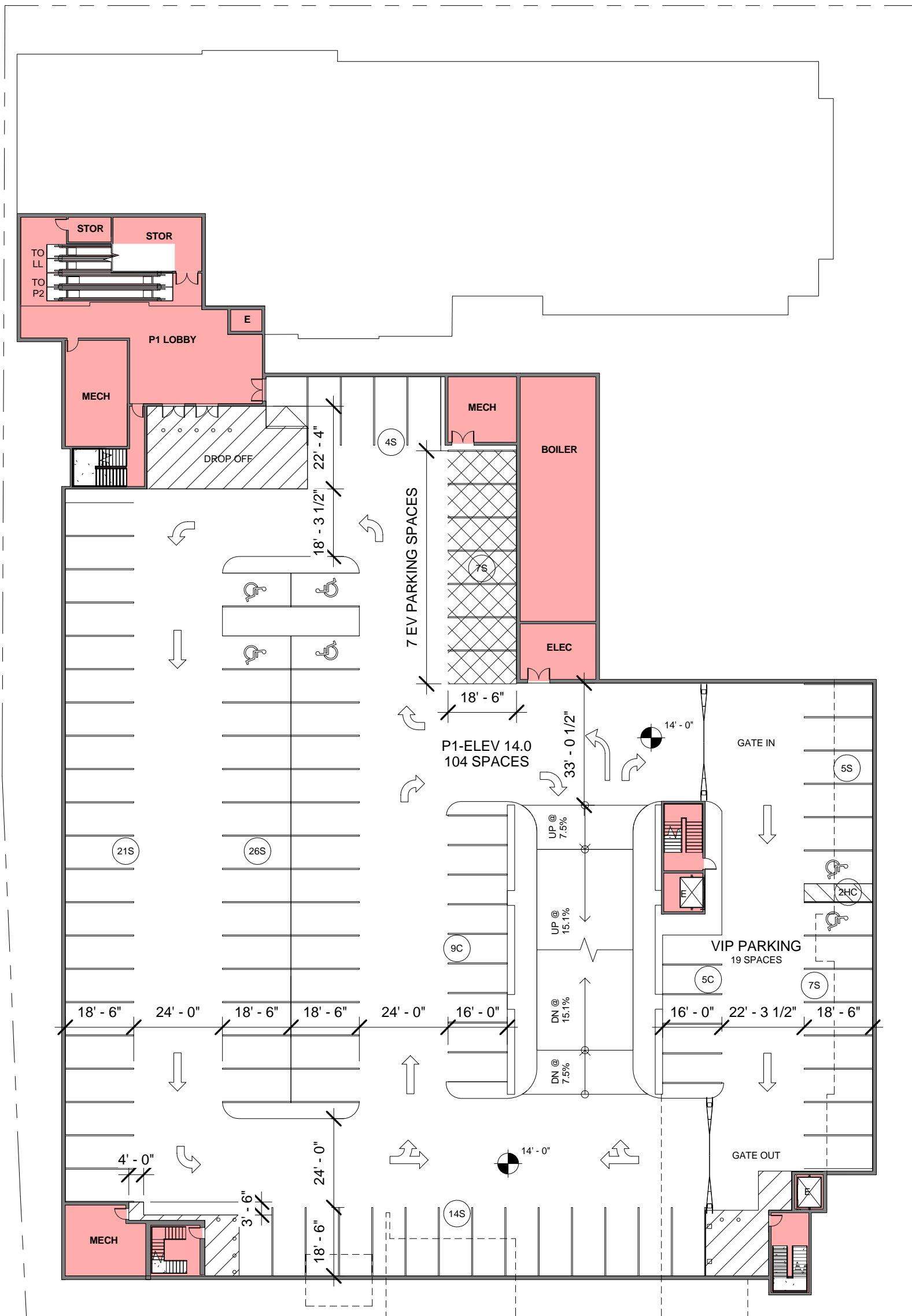
CHRISTOPHER CONSULTANTS
9900 MAIN STREET, FOURTH FLOOR
FAIRFAX, VA 22031
TEL 703.273.6820 FAX 703.273.6820



TYPICAL PARKING SPACE DIMENSIONS



1 PARKING P2
1" = 30'-0"



2 PARKING P1
1" = 30'-0"



3 LOWER LEVEL
1" = 30'-0"



Alfred Street
Baptist Church
301 S. ALFRED STREET
ALEXANDRIA, VA

SUBMISSIONS

CONCEPT 3 04/03/2017

REVISIONS

NO. DESCRIPTION DATE

CONCEPT 3

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FLOOR PLANS

DRAWING NO.

A-001

KGA PROJECT NO. 1304

FLOOR PLANS AS OF OCTOBER 26, 2016

OWNER

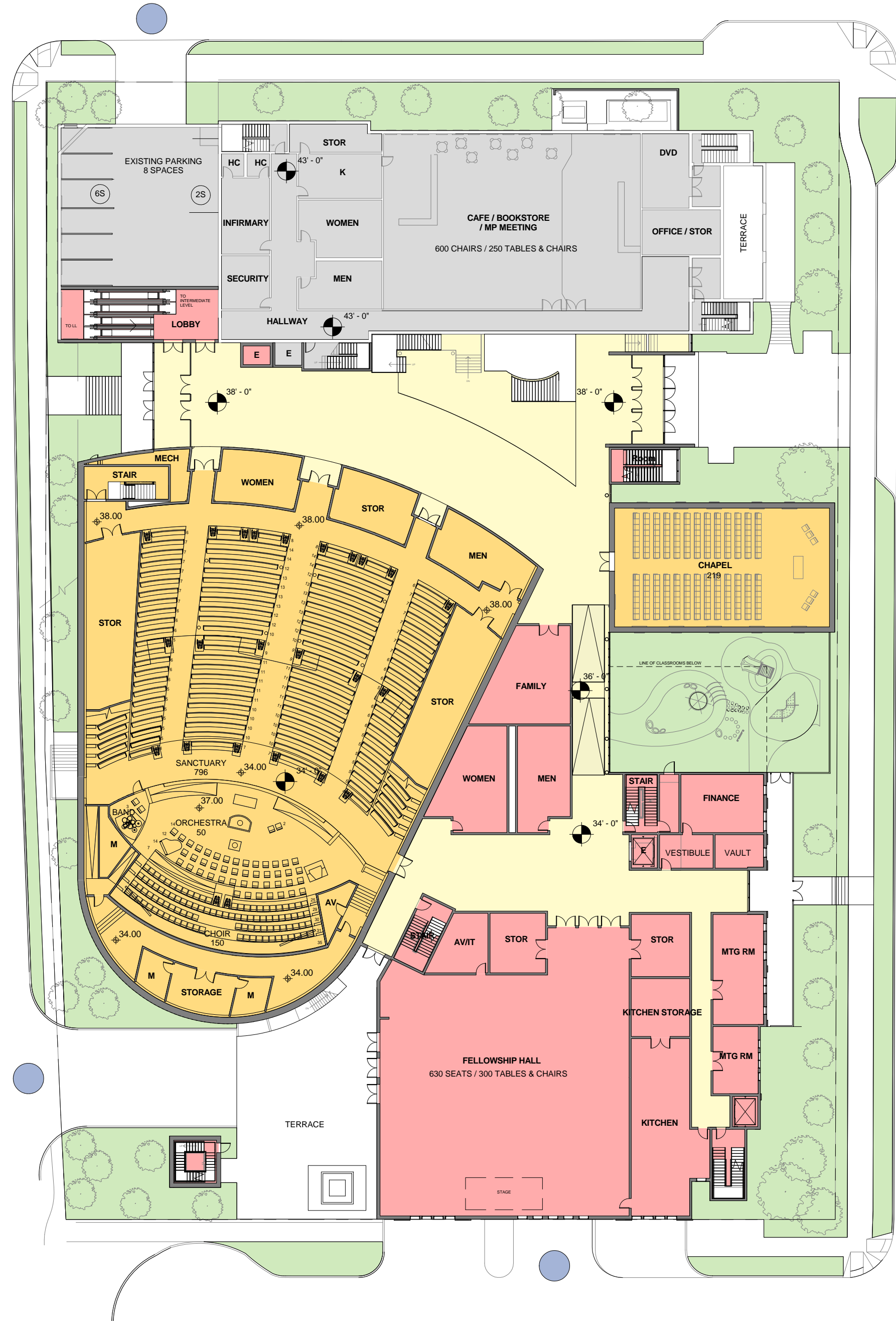
ALFRED STREET BAPTIST CHURCH
301 SOUTH ALFRED STREET
ALEXANDRIA, VA 22314
TEL 703.683.2222 FAX 703.683.1718

ARCHITECT OF RECORD

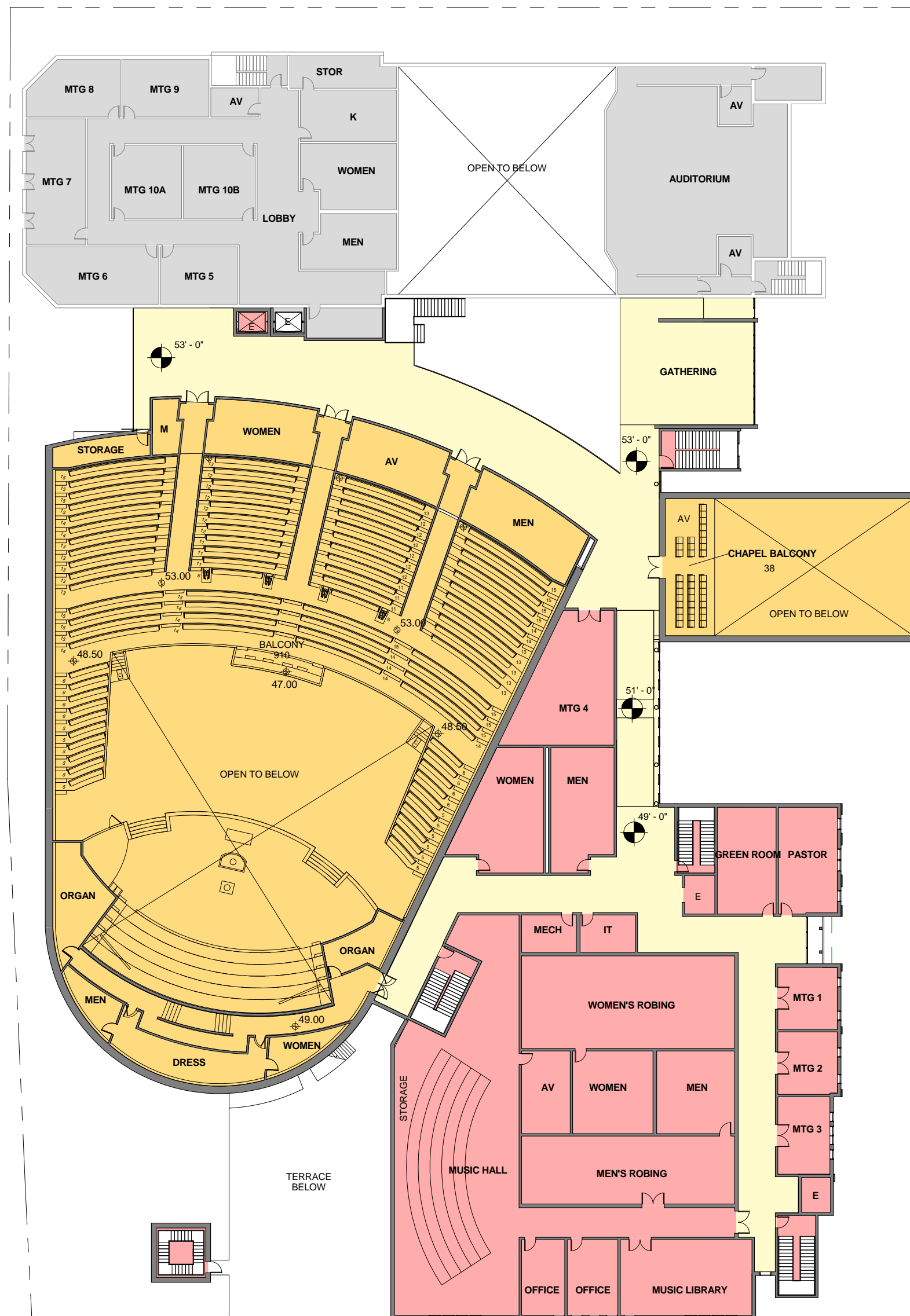
HCO, Inc.
3921 NORTH MERIDIAN STREET, STE 100
INDIANAPOLIS, IN 46206-4011
TEL 317.923.3737 FAX 317.923.3730

CIVIL ENGINEER

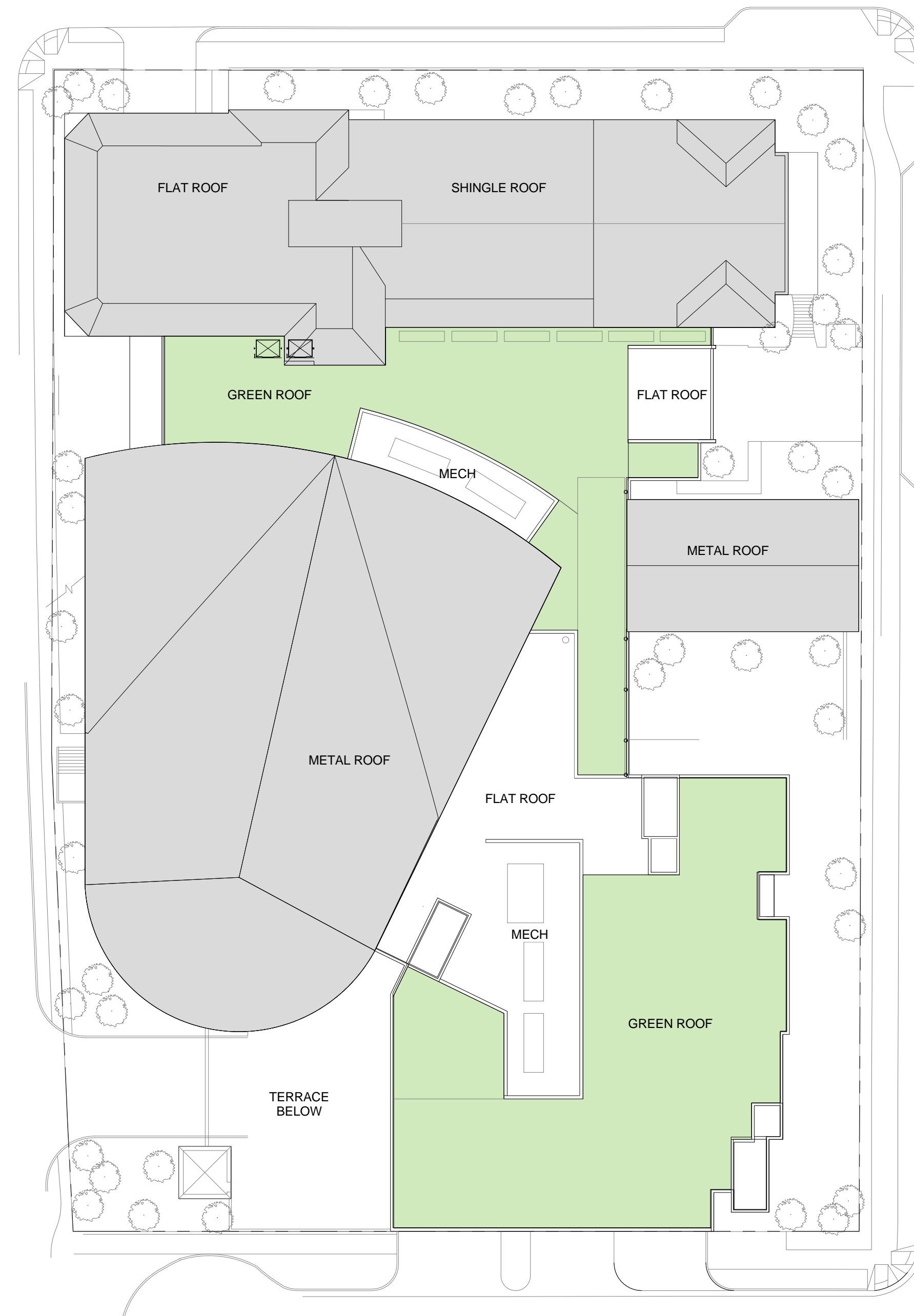
CHRISTOPHER CONSULTANTS
9900 MAIN STREET, FOURTH FLOOR
FAIRFAX, VA 22031
TEL 703.273.6820 FAX 703.273.6820



① MAIN LEVEL
1" = 30'-0"



② UPPER LEVEL
1" = 30'-0"



③ ROOF
1" = 30'-0"



Alfred Street
Baptist Church
301 S. ALFRED STREET
ALEXANDRIA, VA

SUBMISSIONS

CONCEPT 3 04/03/2017

REVISIONS

NO. DESCRIPTION DATE

CONCEPT 3

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FLOOR PLANS

DRAWING NO.

A-002

KGA PROJECT NO. 1304

FLOOR PLANS AS OF OCTOBER 26, 2016

OWNER

ALFRED STREET BAPTIST CHURCH
301 SOUTH ALFRED STREET
ALEXANDRIA, VA 22314
TEL 703.683.2222 FAX 703.683.1718

ARCHITECT OF RECORD

HCO, Inc.
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INDIANAPOLIS, IN 46208-4011
TEL 317.923.3737 FAX 317.923.3730

CIVIL ENGINEER

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FAIRFAX, VA 22031
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EXISTING GROSS FLOOR AREA - SF			
EXISTING GROSS AREA		ALLOWABLE DEDUCTIONS	
BASEMENT	0	BASEMENT	0
FIRST FLOOR	14,398	STAIRWAYS	4,942
SECOND FLOOR	17,306	MECHANICAL	318
THIRD FLOOR	11,230	OTHER	773
PORCHES / OTHER	306		
		TOTAL EXCLUSIONS	6,033
TOTAL GROSS	43,537		

EXISTING FLOOR AREA MINUS EXCLUSIONS = 37,504 SF

PROPOSED GROSS FLOOR AREA - SF			
PROPOSED GROSS AREA		ALLOWABLE DEDUCTIONS	
BASEMENT	49,626	BASEMENT	35137
FIRST FLOOR	45,440	STAIRWAYS	6,394
SECOND FLOOR	34,989	MECHANICAL	697
THIRD FLOOR	0	OTHER	1602
PORCHES / OTHER	167		
		TOTAL EXCLUSIONS	43,830
TOTAL GROSS	130,222		

PROPOSED FLOOR AREA MINUS EXCLUSIONS = 86,392 SF

TOTAL EXISTING + PROPOSED FLOOR AREA = 123,896 SF

AFG ELEVATION: 33' - 0"

LEGEND

BUILDING PERIMETER

BALCONIES AND PORCHES

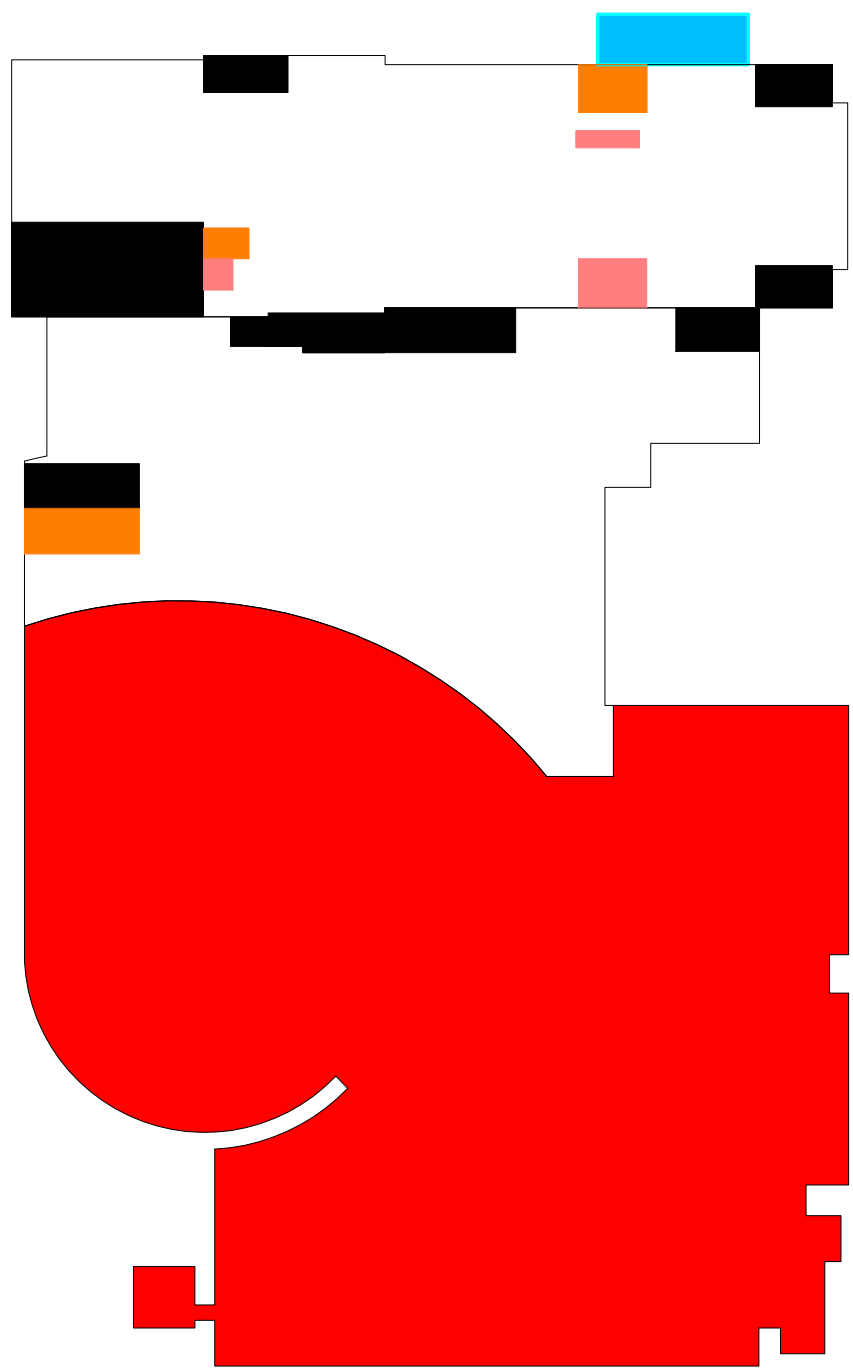
FAR DEDUCTIONS

BASEMENT

STAIRWAYS

MECHANICAL AREAS

OTHER - AV / ORGAN



LOWER LEVEL

FAR DEDUCTIONS - SF

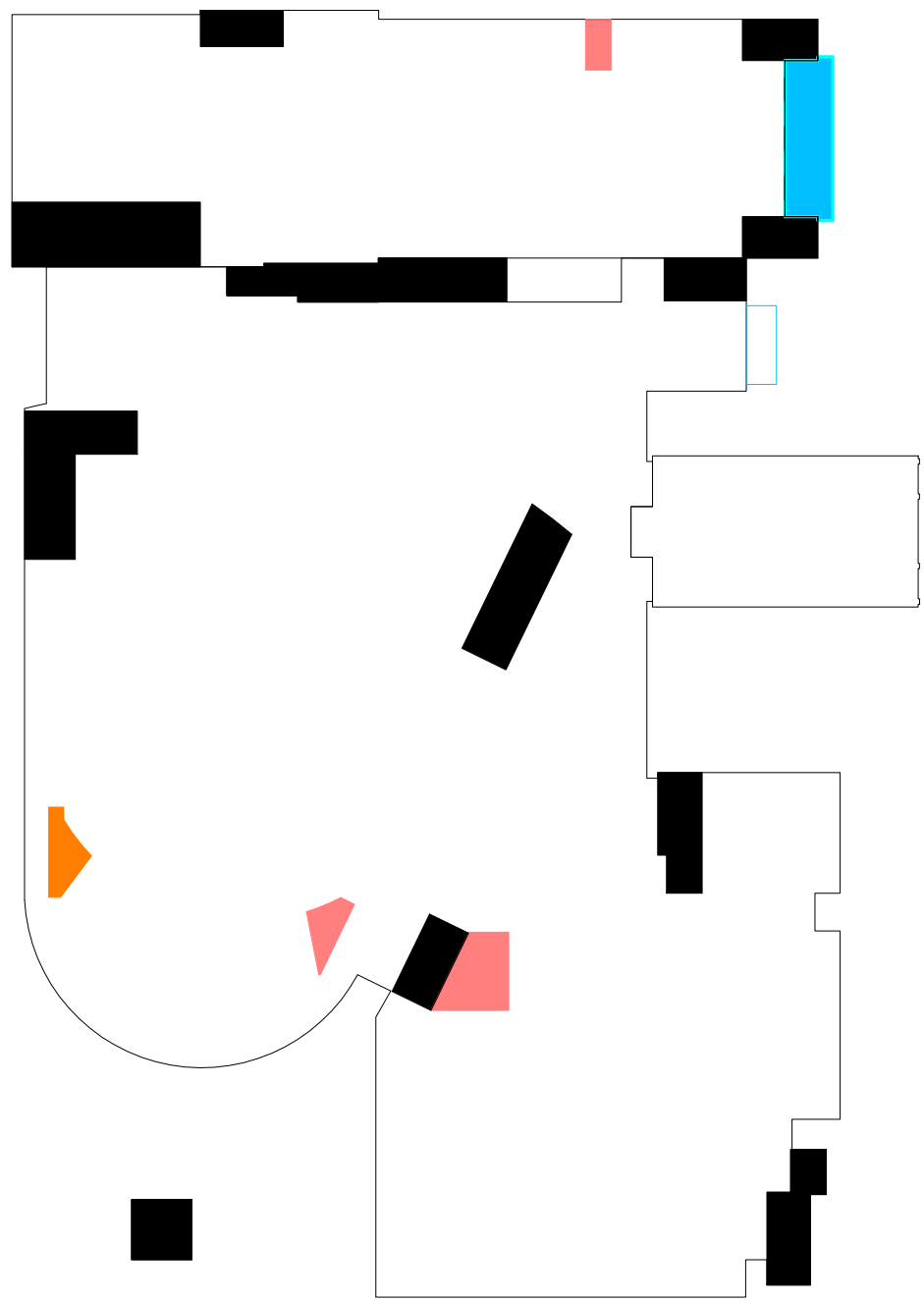
BASEMENT : 35,137

STAIRWAYS : 3,247

MECHANICAL AREAS : 678

OTHER - AV / ORGAN : 365

TOTAL FAR DEDUCTIONS : 39,427 SF



LOWER LEVEL

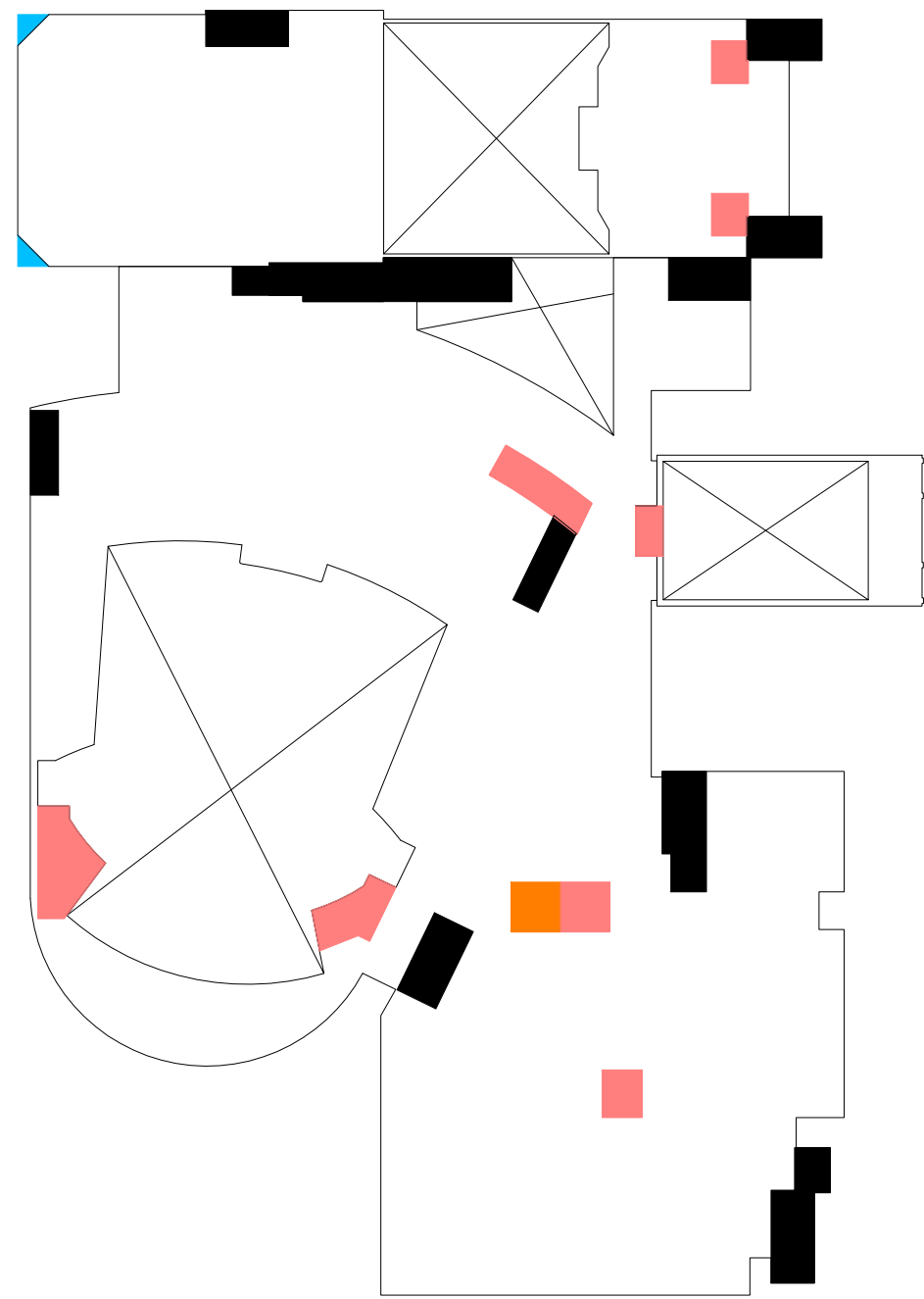
FAR DEDUCTIONS - SF

STAIRWAYS : 5,056

MECHANICAL AREAS : 163

OTHER - AV / ORGAN : 543

TOTAL FAR DEDUCTIONS : 5,762 SF



UPPER LEVEL

FAR DEDUCTIONS - SF

STAIRWAYS : 3,033

MECHANICAL AREAS : 174

OTHER - AV / ORGAN : 1,467

TOTAL FAR DEDUCTIONS : 4,674 SF



Alfred Street
Baptist Church

301 S. ALFRED STREET
ALEXANDRIA, VA

SUBMISSIONS

CONCEPT 3 04/03/2017

REVISIONS

NO. DESCRIPTION DATE

CONCEPT 3

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FAR DEDUCTION
DIAGRAMS

DRAWING NO.

A-003

KGA PROJECT NO. 1304

UNDERGROUND PARKING LEVELS ARE NOT
INCLUDED IN FAR CALCULATIONS PER CITY
OF ALEXANDRIA PLANNING & ZONING

FAR CALCULATIONS AS OF FEBRUARY 15, 2017

OWNER

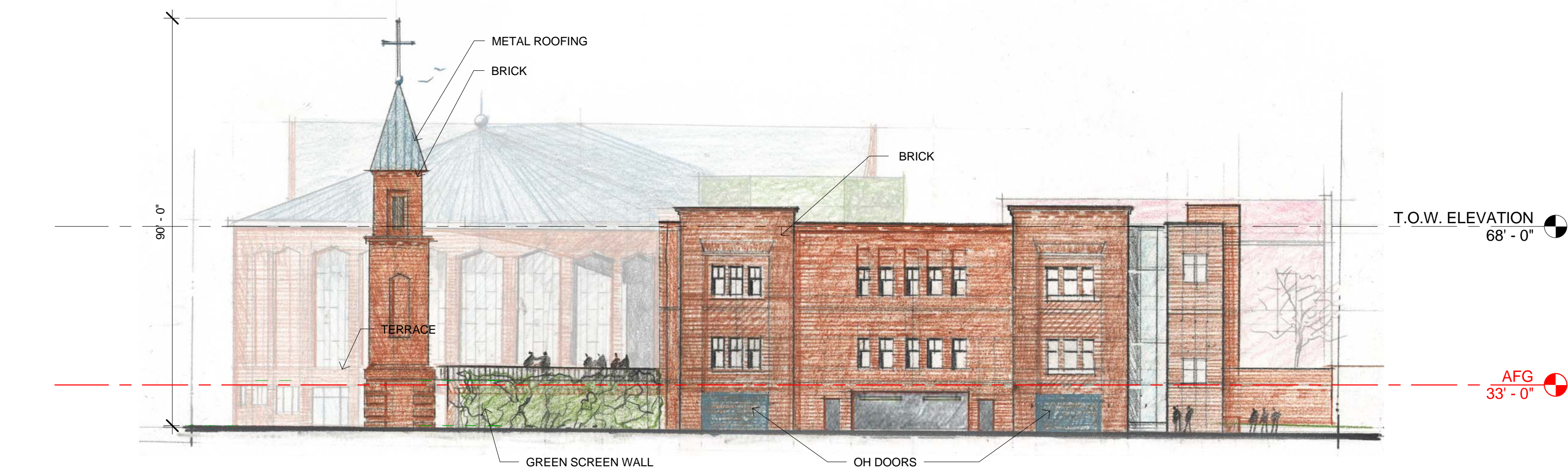
ALFRED STREET BAPTIST CHURCH
301 SOUTH ALFRED STREET
ALEXANDRIA, VA 22314
TEL 703.683.2222 FAX 703.683.1718

ARCHITECT OF RECORD

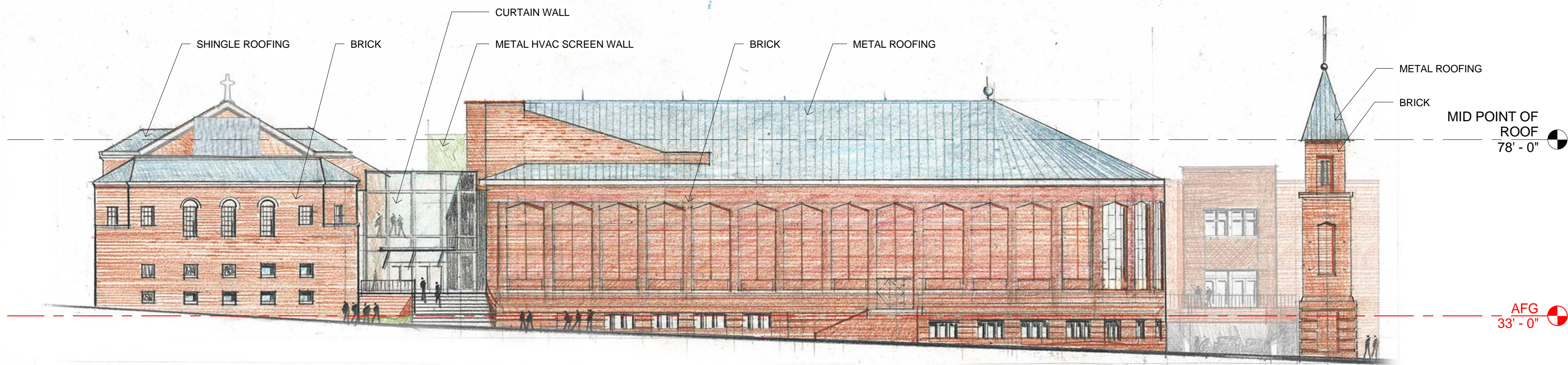
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① WOLFE STREET
1" = 20'-0"



② PATRICK STREET
1" = 20'-0"



Alfred Street Baptist Church
301 S. ALFRED STREET
ALEXANDRIA, VA

SUBMISSIONS

CONCEPT 3 04/03/2017

REVISIONS

NO. DESCRIPTION DATE

CONCEPT 3

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ELEVATIONS

DRAWING NO.

A-004

KGA PROJECT NO. 1304

ELEVATIONS AS OF FEBRUARY 15, 2017

OWNER

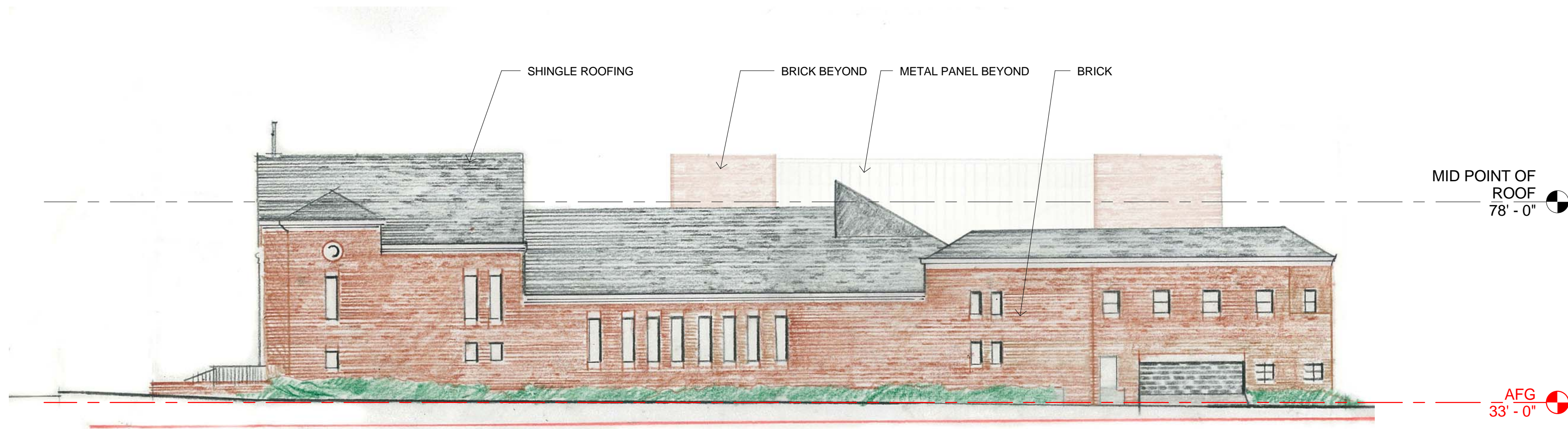
ALFRED STREET BAPTIST CHURCH
301 SOUTH ALFRED STREET
ALEXANDRIA, VA 22314
TEL 703.683.2222 FAX 703.683.1718

ARCHITECT OF RECORD

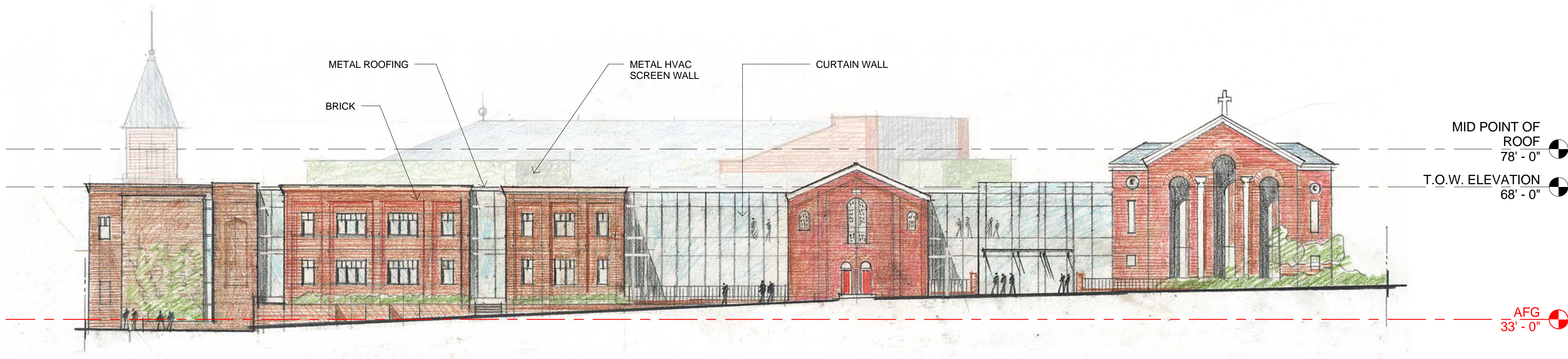
HCO, Inc.
3921 NORTH MERIDIAN STREET, STE 100
INDIANAPOLIS, IN 46208-4011
TEL 317.923.3737 FAX 317.923.3730

CIVIL ENGINEER

CHRISTOPHER CONSULTANTS
9900 MAIN STREET, FOURTH FLOOR
FAIRFAX, VA 22031
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② DUKE STREET
1" = 20'-0"



① S. ALFRED STREET
1" = 20'-0"



Alfred Street Baptist Church
301 S. ALFRED STREET
ALEXANDRIA, VA

SUBMISSIONS	
CONCEPT 3	04/03/2017

REVISIONS		
NO.	DESCRIPTION	DATE

CONCEPT 3
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ELEVATIONS

ELEVATIONS AS OF FEBRUARY 15, 2017

DRAWING NO.

A-005

KGA PROJECT NO. 1304

OWNER

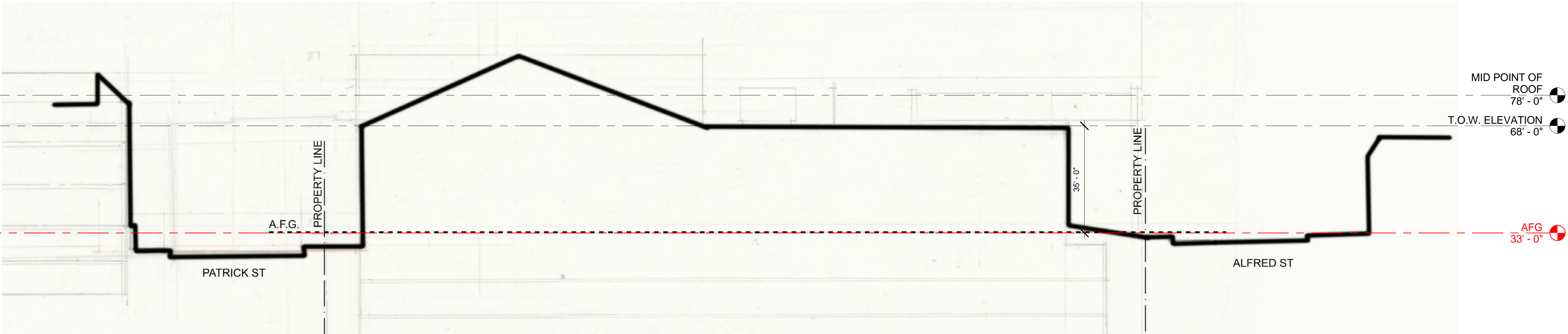
ALFRED STREET BAPTIST CHURCH
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ARCHITECT OF RECORD

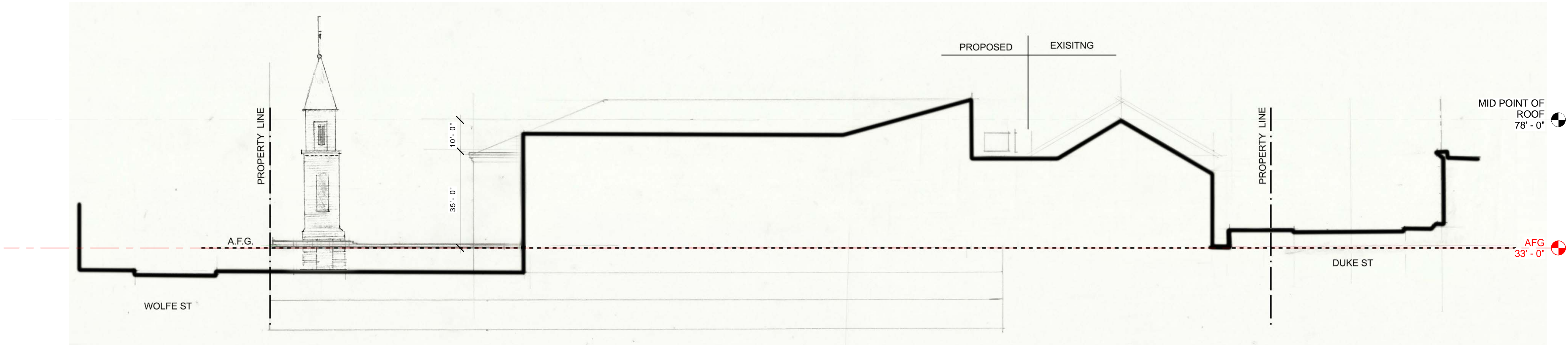
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② EAST-WEST SITE SECTION
1" = 20'-0"



① NORTH-SOUTH SITE SECTION
1" = 20'-0"



Alfred Street Baptist Church
301 S. ALFRED STREET
ALEXANDRIA, VA

SUBMISSIONS

CONCEPT 3 04/03/2017

REVISIONS

NO. DESCRIPTION DATE

CONCEPT 3

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SITE SECTIONS

DRAWING NO.

A-006

KGA PROJECT NO. 1304

SECTIONS AS OF FEBRUARY 15, 2017

OWNER

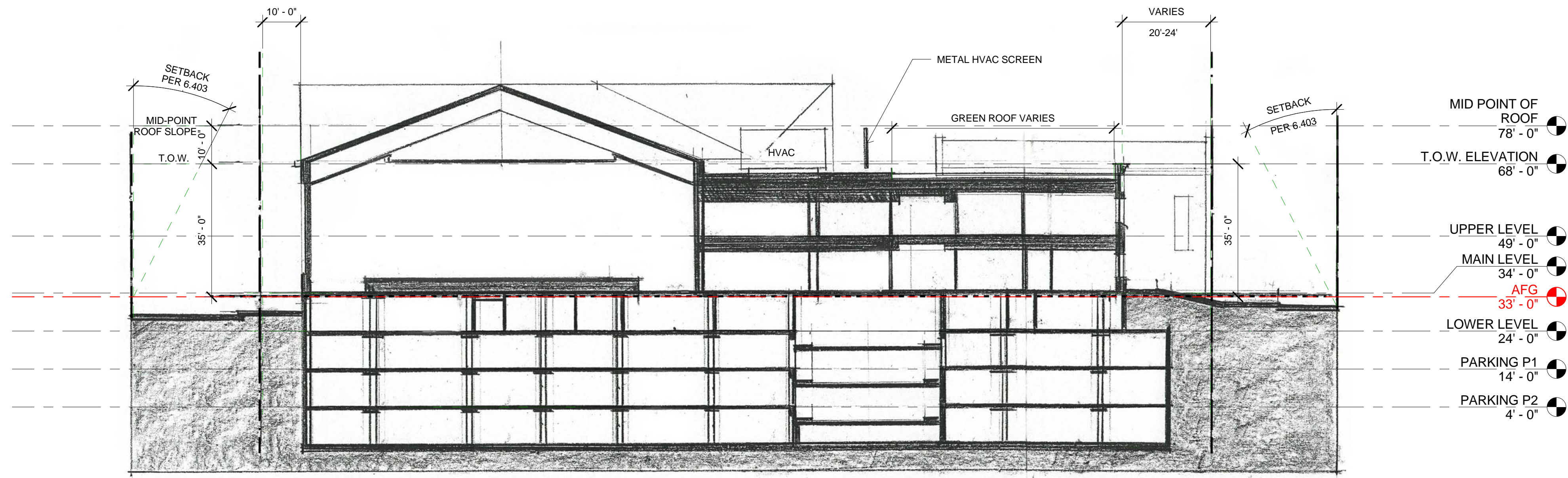
ALFRED STREET BAPTIST CHURCH
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ARCHITECT OF RECORD

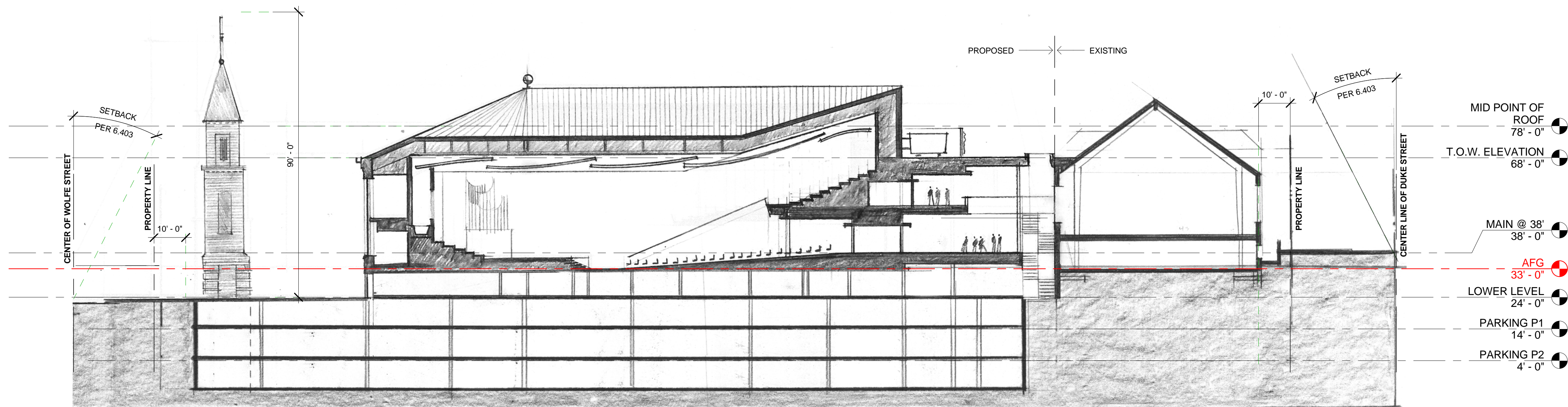
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② EAST-WEST SECTION
1" = 20'-0"



① NORTH-SOUTH SECTION
1" = 20'-0"



Alfred Street Baptist Church
301 S. ALFRED STREET
ALEXANDRIA, VA

SUBMISSIONS

CONCEPT 3 04/03/2017

REVISIONS

NO. DESCRIPTION DATE

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BUILDING SECTIONS

DRAWING NO.

A-007

KGA PROJECT NO. 1304

SECTIONS AS OF FEBRUARY 15, 2017

OWNER

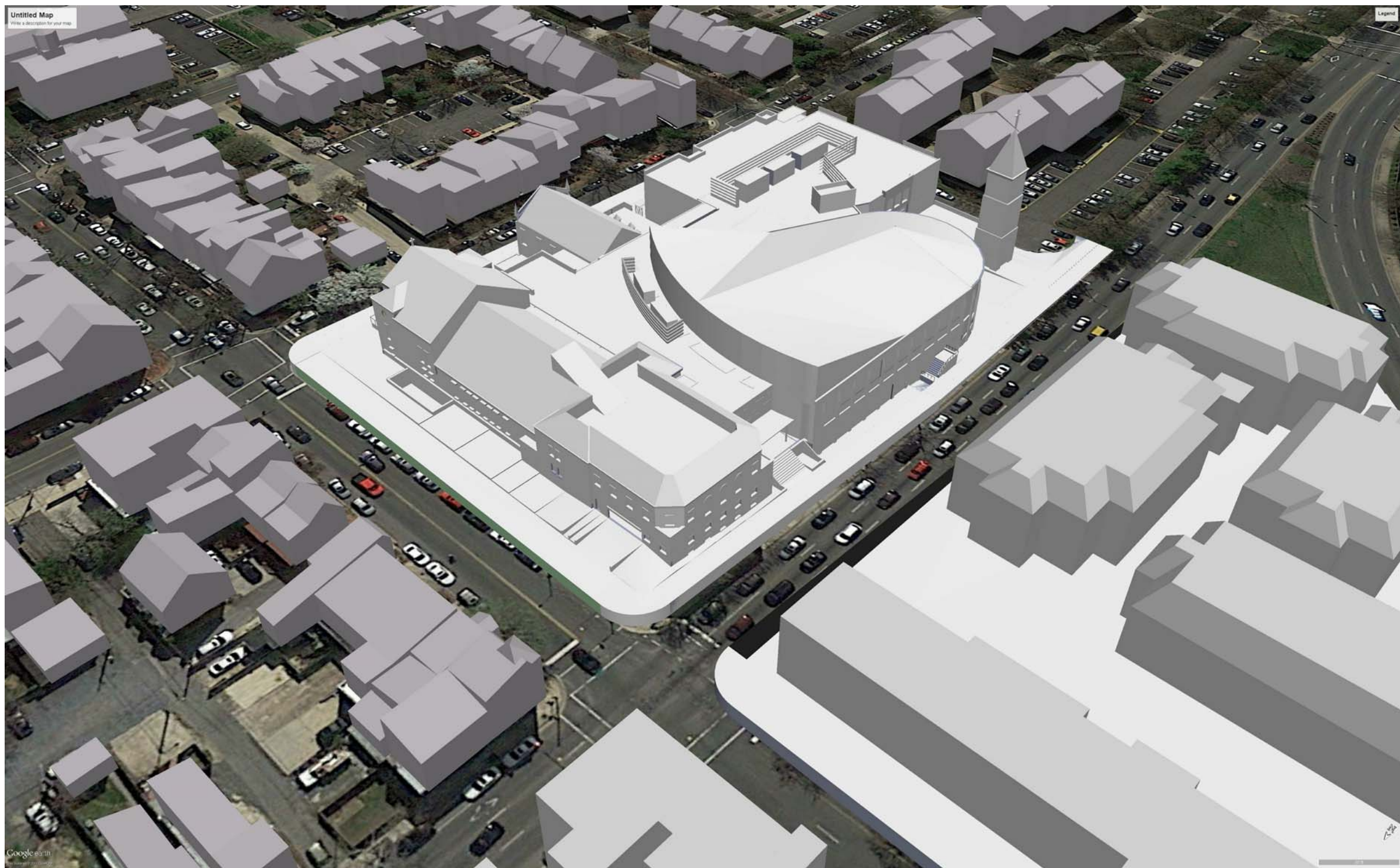
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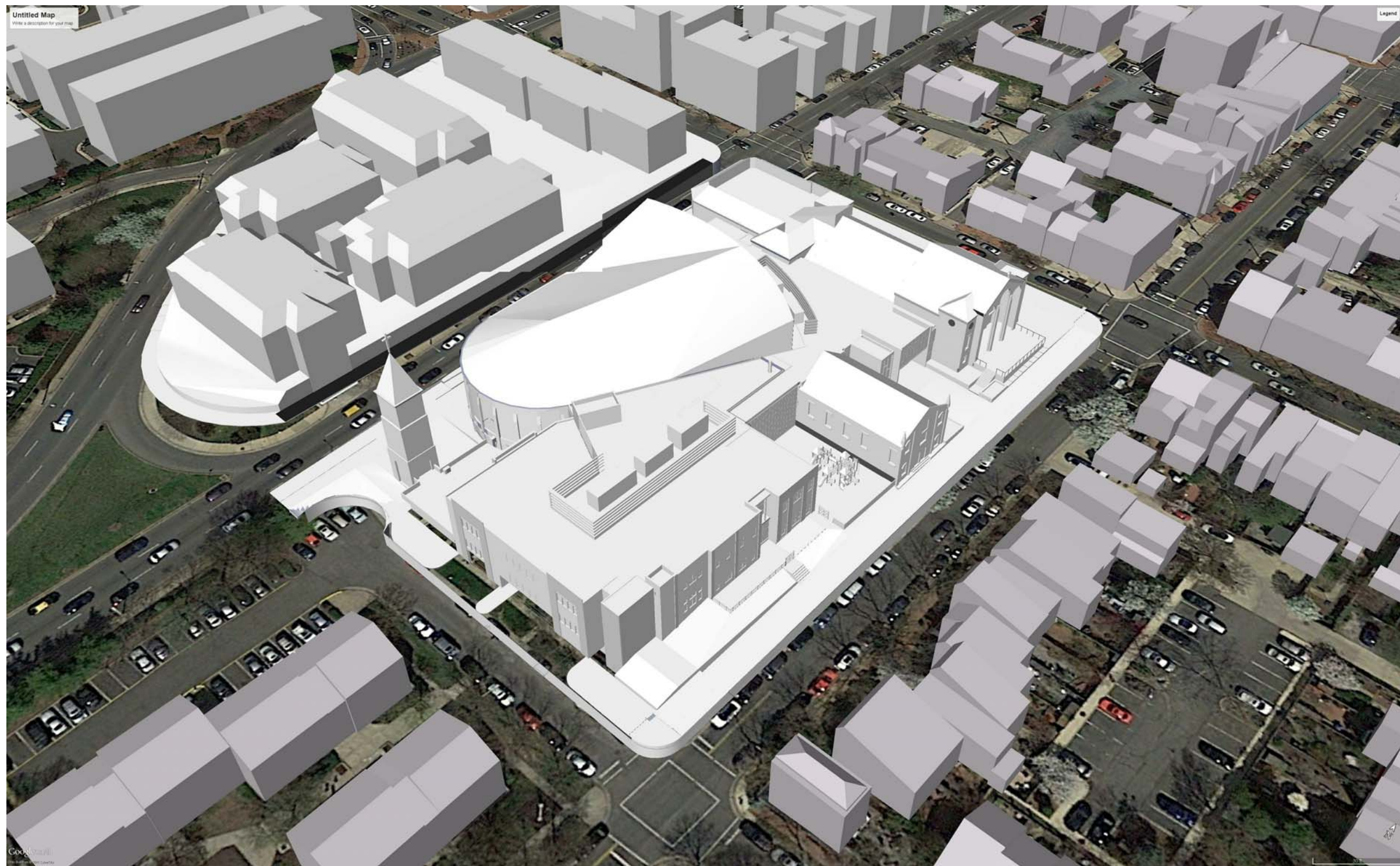
NW VIEW



NE VIEW



SW VIEW



SE VIEW



Alfred Street Baptist Church
301 S. ALFRED STREET
ALEXANDRIA, VA

SUBMISSIONS

CONCEPT 3 04/03/2017

REVISIONS

NO.	DESCRIPTION	DATE

CONCEPT 3

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MASSING MODEL

DRAWING NO.

A-008

KGA PROJECT NO. 1304



**christopher
consultants**

engineering · surveying · land planning

April 3, 2017

Mr. Michael Swidrak, AICP
Urban Planner
City of Alexandria
Development Division
301 King Street
Room 2100
Alexandria, VA 22314

RE: 301 Alfred Street
DSUP #2015-0029
Concept II Review Comments
christopher Project# 11099.002.00

Dear Mr. Swidrak:

We are in receipt of your comments dated June 21, 2016. Many changes have been incorporated into this submission based on City Staff as well as Community input, including adding a third level of underground parking on site. As a result, the Applicant is submitting this Concept III submission so Staff has the most current plans being proposed. The following are our responses to your comments:

PLANNING AND ZONING

Applications

1. Please note that the following applications or requests will be required for this project as currently proposed:
 - a. A Master Plan Amendment may be required to change the land use from townhouse residential to institutional. A decision will be forthcoming and provided for the next submission.
 - b. A development special use permit with site plan
 - c. A special use permit for off-site parking within 300 feet of the site (per Section 8-200)
 - d. An administrative SUP for the shared use of the adjacent parking sites to fulfill the parking requirement, based on Section 8-100(A)(6) of the Zoning Ordinance, may be required. A decision will be forthcoming and provided for the next submission.
 - e. Lot consolidation
 - f. Board of Architectural Review
 - i. Concept Review
 - ii. Permit to Demolish/Capsulate
 - iii. Certificate of Appropriateness

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web site www.christopherconsultants.com

Response: A master plan amendment is not required for this application. The Old Town Master Plan cannot take away a by-right use under the RM zone. Applying the City Charter to the Old Town adopted generalized land use plan, the TH category does not establish a TH regulation. It sets a general guide for a zone that may be adopted. That zone will have its several uses that may be made of the land within its boundaries, some by right, some by special use permit under the Alexandria zoning code. There are many instances in the past where applications for by right uses under a particular zone have been approved where the master plan may state a different general guide, ie., Blessed Sacrament Church was approved on land that was zoned R-8, and master planned for Residential Low, as Churches are by right use in the R-8 zone. Churches are by right uses in the RM zone, therefore no master plan amendment is necessary.

Based on the increased parking on site with the addition of a third underground parking level, the Applicant is also likely to need an SUP for excess parking by a church in a residential zone, pursuant to Section 3-1103(J).

2. The following modifications may also be necessary and will be determined as part of future submissions:
 - a. A modification for any portions of the front façade(s) not built to the front lot line (per RM zoning requirements)

Response: Acknowledged.

Findings

3. The proposed width of the sidewalk and landscape strip along Alfred Street is acceptable, though may be subject to change based on findings and recommendations from the forthcoming third-party parking and traffic study.

Response: Acknowledged.

4. Parking compliance (for spaces within 300 feet of the church) is dependent on the agreements with owners of the Townhouse Office Lots at the 1000 block of Duke Street and Alexandria Gateway.

Response: These agreements have been in place for several years now, and have recently been renewed for an extended period, at least for the underground spaces across S. Patrick. It is also important to note that the ASBC actually controls through ownership of units in the Alexandria Gateway Office Condo 64 of the 194 parking spaces in the underground garage across S. Patrick Street. Finally, all applications for parking spaces within 300 feet are regularly required to demonstrate the availability of those spaces in future years by condition of their approvals so this would not be any different for ASBC.

5. BAR staff review of the proposal continue with the first submission to BAR.

Response: Acknowledged. The project has been reviewed by the BAR in concept on two occasions and a third submission for concept review will be filed on April 7, 2017.

Zoning Comments

6. Applicant must call out height from AFG on all elevations sheets to show compliance with the 45 foot height maximum. Please clarify if the average finished grade is 33.0 feet or 32.8 feet on Sheet C200.

Response: AFG is 33.0

7. Rooftop HVAC and other mechanical equipment must be screened from view per section 6-403(B). Applicant can apply to the BAR for a waiver of rooftop screening if desired.

Response: Rooftop mechanical equipment will be screened.

8. The height of the entire steeple must be included on the architecture elevations to show compliance with the 90 feet maximum per Section 6-403(C) of the Zoning Ordinance. This includes the height to the top of the cross above the spire.

Response: The height of the steeple including the cross will not exceed 90 feet.

9. Applicant must provide FAR deduction diagrams on plan sheets with next submission.

Response: FAR deduction diagrams are included with this submission.

Concept Checklist and General Site Plan Comments

10. Include sheet numbers and a seal (signature and registration number) of architect for all future submitted architectural plans. Please include the seal of a registered landscape architect for all future landscape sheets.

Response: Architectural sheets are sealed/signed.

11. Provide two color sets of architectural drawings with the next submission.

Response: Two sets are included with this submission.

12. Sheet C100: Please add a modification request for portions of the building that are not built to the front lot line.

Response: This information has been provided on sheet C100.

13. Sheet C200: Provide the building frontage linear footage for each yard (all four sides of the property are considered front yards).

Response: This information has been provided on sheet C200.

14. Sheet C200: Provide an overall breakdown of compact versus standard-size parking spaces for on-site parking. Show dimensions of a typical proposed compact and standard space on either a civil or architectural sheet.

Response: This information has been provided on sheet C200 and will be updated with the completeness submission.

15. Provide a brief narrative describing the environmentally sensitive site design, green building and/or low impact development techniques to be considered in this proposal.

Response: The proposed design will meet LEED Silver certification requirements and will include, but not be limited to the following green site & building techniques to achieve certification. Bicycle facilities, EV parking for Green Vehicles, Green Roof, Indoor Water use reduction, Building Level Energy metering, storage and collection of recyclables, Low-emitting Materials, Interior Lighting and Daylighting.

16. Please mark the seven proposed parking spaces on the P1 level with EV charging access with the next submission.

Response: The seven parking spaces have been marked on the P1 level.

17. Staff needs clarification on the proposed parking for Alexandria Gateway Condominium (plan set states 190 spaces are available, the attached parking agreement seems to point to only 150 spaces).

Response: The Alexandria Gateway Condominium provides 194 spaces. It is also important to note that the ASBC actually controls through ownership of units in the Alexandria Gateway Office Condo 64 of the 194 parking spaces in the underground garage across S. Patrick Street.

Landscape / Streetscape Comments

18. Sheet C200 and/or C301: Provide existing and proposed crown coverage square footage and as a percentage of the entire site.

Response: This information is not required for concept plans. In addition, there are no proposed trees shown on the plans. This will be provided with the completeness submission.

19. Sheet C301: The vast majority of trees noted on this plan sheet are proposed to be removed, with many of the trees noted to be preserved located along public right-of-way. Staff would like to see more preservation and/or replanting of trees on the site. The applicant must also meet the crown coverage requirement outlined in Section 7-2507 of the Zoning Ordinance, or request a modification.

Response: This information is not required with concept plans. To be provided with completeness submission.

20. Work with staff to identify how to incorporate the trees proposed to be removed along the grass strip on the west side of Alfred Street into the proposed design (with specific reference to trees marked 117-119, 121, 124 and 126 on Sheet C301). If the applicant plans to remove any street trees along the north (Duke Street) and east (Alfred Street) of the site, the applicant must work with P&Z and the City Arborist in order to adequately replace them.

Response: Acknowledged.

21. New street trees are required to be planted every 30 feet on center where none exist or are to be replaced.

Response: Acknowledged. To be provided with completeness submission if required.

TRANSPORTATION AND ENVIRONMENTAL SERVICES

Findings

1. The applicant is encouraged to involve the stormwater management designer at an early stage of the site plan process in order to ensure that future submittals incorporate the appropriate stormwater management design aspects into the site design in accordance with the provisions of Article XIII of the City of Alexandria Zoning Ordinance. (Storm)

Response: Acknowledged.

2. Staff is coordinating with the Fire Department regarding the width of the stairs that extend into the pedestrian zone. The applicant may be required to reduce the width of the stairs. (Transportation Planning)

Response: Acknowledged.

3. The applicant does not qualify for a Transportation Management Plan; however, the applicant may be asked to provide/implement individual traffic mitigation strategies. These strategies will be conditioned at the Preliminary stage of development review. (Transportation Planning)

Response: Acknowledged.

4. A third-party will review the applicant's traffic study. Comments on this study will be provided separately, and are forthcoming. (Transportation Planning)

Response: Comments have been received and have been addressed with the revised traffic report and the traffic addendum.

Comments

5. The preliminary site plan must be prepared per the requirements of Development Preliminary Site Plan Checklist and Memorandums to Industry 02-09 dated December 3, 2009 on Design Guidelines and City Standard Notes, which are available at the following web address of the City of Alexandria: (I-ROW)

Preliminary Site Plan Checklist:

<http://alexandriava.gov/uploadedFiles/planning/info/forms/Electronic%20Development%20Preliminary%20Checklist.pdf>

Memorandum to Industry 02-09:

<http://alexandriava.gov/uploadedFiles/tes/info/Memo%20to%20Industry%20No.%2002-09%20December%203,%202009.pdf>

Response: Acknowledged.

6. In continuation of response to Previous Comment # 2(i), complete a sanitary sewer adequate outfall analysis in accordance with Memorandum to Industry 06-14 dated June 20, 2014 on New Sanitary Sewer Connection and Adequate Outfall Analysis – Updated, which is available at the following web address: (I-ROW)

<http://www.alexandriava.gov/uploadedFiles/tes/info/MemoToIndustry06-14.pdf>

Response: To be provided with completeness submission.

7. In continuation of response to Previous Comment # 2(ii), provide computations for pre and post development runoff generated from the site using the rainfall depths for the City of Alexandria as: 1Yr 24 hour = 2.70, 2 Yr 24 hour = 3.20, 10 Yr 24 hour = 5.20, and 100 Yr 24 hour = 8.2 inches per NRCS (formerly SCS) TR-55 method. The overland relief shall be provided for 100 Yr 24 hour = 8.2 inches of rainfall depth in the final site plan. Provide computations for channel protection and flood protection analyses in accordance with the requirements of Article XIII Environmental Management Ordinance. (I-ROW)

Response: To be provided with completeness submission.

8. In continuation of response to Previous Comment # 3, the site plan shall comply with the requirements of Memorandum to Industry 07-14 dated June 20, 2014 on Development Requirements for the Combined Sewer Service Area, which is available at the following web address of the City of Alexandria:

<http://www.alexandriava.gov/uploadedFiles/tes/info/MemoToIndustry07-14.pdf>

The submitting engineer may contact Staff to discuss the separation opportunities. The resolution of this issue is an important step in the development of preliminary site plan. (I-ROW)

Response: The submitting engineer has met with City staff to discuss separation opportunities.

9. Sheet C400: Provide garage slope in the site plan that must be less than 10% or maximum 12% with winter treatment. 15% slope is not acceptable. (I-ROW/Transportation)

Response: Both entrance/exit ramps to the garage are less than 15%.

10. Show conceptual location of transformers and switch gears. (I-ROW)

Response: Refer to sheet C400 for location (SW corner).

11. Provide turning movement at Duke St and Alfred St. (Transportation)

Response: Refer to sheet C600.

12. Show dimensions of drive aisle and parking spaces in the garage. (Transportation)

Response: Drive aisles and parking spaces have been dimensioned. See sheet A-100.

13. The off-site parking agreements do not adequately ensure access to the parking in perpetuity since many of the agreements have expiration dates and clauses that allow either party to terminate the agreement at any time. Given that half of the parking requirement for this expansion is proposed off-site, more permanent parking accommodations need to be provided. (Transportation Planning)

Response: These agreements have been in place for several years now, and have recently been renewed for an extended period, at least for the underground spaces across S. Patrick. It is also important to note that the ASBC actually controls through ownership of units in the Alexandria Gateway Office Condo 64 of the 194 parking spaces in the underground garage across S. Patrick Street. Finally, all applications for parking spaces within 300 feet are regularly required to

demonstrate the availability of those spaces in future years by condition of their approvals so this would not be any different for ASBC. A third level of underground parking has been added to the project for onsite parking.

14. Continue exploring ways to shift the curb to the west to provide a parking lane outside of the travel lane adjacent to the church property on Alfred Street. A mid-block bulb-out could be provided at the pinch point near the historic church. A portion of this parking lane could be signed for drop-off and the remainder would be on-street parking. (Transportation Planning)

Response: We have explored this and will not pursue pushing the curb west, however, a layby has been proposed on the plans for pick up and drop of near the new church entrance.

15. Provide a reasonable drop-off area for congregants that are not parking in the garage. It is unlikely that these people will enter the garage to drop people off if they are not going to park there. (Transportation Planning)

Response: A drop off area has been provided on Alfred Street.

16. Explain how bicycles will safely access any proposed bicycle parking in the garage. (Transportation Planning)

Response: There are no proposed bicycle parking in the garage.

17. It is the understanding of staff that the some of the current on-site spaces are reserved for church staff. Provide more details about whether spaces in the garage will be reserved for the exclusive use of church staff. (Transportation Planning)

Response: The spaces in the rear are reserved for people who are 80 years or older and handicapped. There are four spaces reserved for musicians. All the spaces in the current garage are reserved for the Pastor and senior staff and trustees. The plan for how to possibly reserve spaces in the new garage has not been finalized.

18. Who has access to the VIP parking on Level P1? (Transportation Planning)

Response: This is likely to be utilized by the Pastor, church leaders and special guests of the church, however, plans have not been finalized and this will be coordinated with the response to No. 17 above.

19. Clarify whether any of the classrooms, fellowship hall or café will ever be used for overflow seating. If so include these seats in the parking requirements. (Transportation Planning)

Response: There will be no overflow seating permitted in the church building.

20. Pedestrian loading crossing at Wolfe Street is not ideal (31.3' across trash area, 51.5' across loading area). Staff suggests exploring opportunities to open up Wolfe Street and reconfigure the loading area, thereby reducing the number of necessary curb cuts. This may also necessitate a reexamination of the garage access on Route 1. (Transportation Planning)

Response: We have explored opening up Wolfe Street and the applicant does not believe this is a valid alternative. See the revised traffic report.

21. Staff suggests contacting the garage owner at 277 S Washington Street for additional off-street parking availability for weekend services. (Transportation Planning)

Response: The applicant regularly seeks additional agreements for off-site parking spaces and will keep doing so as the applications move forward.

22. Consider garage management technology to help direct people to available spaces in the garage and be aware when the on-site garage is full. (Transportation Planning)

Response: The applicant will provide the appropriate garage management to assist with parking.

23. On sheet C300 – existing conditions, call out the existing bus stop adjacent to the site on Duke Street. (Transit)

Response: The existing bus stop adjacent to the site on Duke Street has been labeled on sheet C300.

24. On sheet C400 – the proposed bulb along Duke Street shall be designed to allow a bus to safely mesh against the curb of the bulb without hitting a parked car to the west of the bulb in the parking lane. The curb of the bulb should be flush with the parking lane limit. (Transit)

Response: Acknowledged.

Future Conditions

25. No transformers and switch gears shall be installed in the public right of way. (I-ROW)

Response: Acknowledged.

26. Bus stop on Duke Street adjacent to the site shall meet ADA requirements and City standards per the following: (Transit)

- a. Install an unobstructed ten (10) foot wide, parallel to the roadway, by eight (8) foot wide, perpendicular to the curb, bus stop passenger loading pad. The unobstructed loading area should be at the front of the boarding zone and accessible from a transit shelter or bench (if present or if installed) and the adjacent sidewalk. The loading pad shall be at the same grade

- as the sidewalk, connect the curb to the sidewalk, and the pad's surface material shall match the sidewalk. The loading pad's cross slope shall be less than 2 percent. The exiting width of the sidewalk may be counted towards the 8 foot wide perpendicular to the curb area. Passenger loading pads shall never be placed on storm drain inlets, catch basins, and other obstacles that would make the bus stop and bus stop loading pad inaccessible.
- b. Create a 100 foot "No Parking, Bus Stop Zone" for the bus stop on Duke Street adjacent to the site. If the bus stop is located on a bulb out / extension into the roadway, the "No Parking, Bus Stop Zone" shall not be required. At minimum, if installed, the bulb out for the existing bus stop shall be at least 35 feet in length parallel to the curb (does not include the taper) and extend at minimum 7 feet into the roadway.

Response: A bulb out has been added.

27. Provide a 6' Victor Stanley RB-28 black finish bench for the bus stop adjacent to the site. Bench shall not obstruct or be installed the bus stop passenger loading pad area and shall be installed on a concrete base behind the sidewalk and/or bus stop passenger loading pad area. Show bench location on the site plan. (Transit)

Response: Acknowledged.

28. Street trees in close proximity to bus stop approaches or directly adjacent to travel lanes shall be:
 - a. Located to avoid conflict with vehicles, specifically:
 - i. Trees shall be excluded from a 40 ft. zone which represents the length of the bus as it is serving the stop.
 - ii. Trees within both the 10 ft. departure zone and the 20 ft. approach zone (on either side of the 40 ft. zone) shall be selectively located to minimize conflict with vehicles and to allow direct line of sight for approaching buses.
 - b. Subject to the character of the adjacent area and relevant design guidelines for spacing, distance from the curb and species selection. In general, trees shall be of the same species along the entire block face.
 - c. Selected from upright branching species in areas where relevant design guidelines do not otherwise specify.
 - d. Installed with a minimum 6 feet of clear stem and gradually pruned to reduce conflict with vehicles, under consultation from a certified arborist. Pruning of street trees is part of the regular maintenance required of applicants under the City's bond for public improvements.
 - e. Set back from the curb edge where the width of sidewalk and adjacent conditions allow. (Transit)

Response: Acknowledged.

DASH Comments

29. Sheet C400 – Provide ADA compliant bus stop loading pad at existing bus stop location on Eastbound Duke Street. Provide standard U-channel pole to be installed at a location specified by DASH's Bus Stop Coordinator. Pole mounting location must be minimum 2 feet clearance from curb edge. (DASH)

Response: Acknowledged.

30. Sheet C400 – Provide clarified site plan on streetscape plan, including bus stop details. (DASH)

Response: This level of detail will not be provided with the Concept Plan. To be provided with Completeness Submission.

VAWC Comments

31. VAWC has no comments at this time.

Response: Acknowledged.

AlexRenew Comments

32. AlexRenew has no comments at this time.

Response: Acknowledged.

REAL ESTATE

1. No comments.

Response: Acknowledged.

CODE ADMINISTRATION

Findings

1. The following comments are for conceptual review only. Once the applicant has filed for a building permit and additional information has been provided, code requirements will be based upon the building permit plans and the additional information submitted. If there are any questions, the applicant may contact Charles Cooper, Plan Review Division at Charles.cooper@alexexandriava.gov or 703-746-4197.

Response: Acknowledged.

Code Comments

1. Building, and trades permits are required for this project. Five sets of *construction documents* sealed by a *Registered Design Professional* that fully detail the construction as well as layout and schematics of the mechanical, electrical, and plumbing systems shall accompany the permit application(s)

Response: Acknowledged.

2. New construction of proposed addition of a new 1900 seat worship facility, parking structure and renovation of the existing church building must comply with the current edition of the Uniform Statewide Building Code (USBC).

Response: Acknowledged.

3. Building Code Analysis: The following minimum building code data is required on the drawings: a) use group, b) number of stories, c) construction type and d) tenant area. Provide this information on plans.

Response: To be provided with completeness submission.

4. A Certificate of Occupancy is required prior to occupancy.

Response: Acknowledged.

5. Required means of egress shall be maintained at all times during construction. Identify means of egress locations during construction if building will still be available to the public during construction activity.

Response: Acknowledged.

- C-6 Required exits, parking, and facilities shall be accessible for persons with disabilities. Provide a plan that identifies accessible features.

Response: New construction shall be fully accessible to meet ADA & ANSI requirements. Renovated portions of existing building shall improve accessibility as required by USBC. Plan will be provided with application for Building Permit.

HOUSING

Comments

1. Please submit an affordable housing plan that outlines replacement plans for the existing 22 affordable units currently on site as well as the other units under the same rental assistance contract.

Response: An affordable housing plan will be provided and ASBC has been working with Alexandria Housing Development Corporation to coordinate same.

2. Staff has concerns about the proposed demolition of the existing 22 affordable housing units that are on the church expansion site, along with the associated relationship of the current project-based vouchers that are tied to other units that are part of the same portfolio. These units and their funding source are a critical resource within the City, especially because of the deep subsidies they provide to facilitate housing affordability for very low income residents. The applicant should schedule a meeting with Housing as soon as possible to discuss options.

Response: These units will no longer be covered by VHDA financing after December of 2019, however, the Church's mission remains to maintain and expand affordable housing opportunities and will continue to work to replace these units, not just relocate the residents.

ARCHAEOLOGY

Archaeology Findings

1. The block encompassed by Duke St. on the north, Alfred St. on the east, Wolfe St. on the south, and Patrick St. on the west has long been an active place in Alexandria dating back to at least the early nineteenth century. Most notably, the Alfred Street Baptist Church—the applicant for this project—was built in 1855. Prior to that, the Colored Baptist Society began renting the property in 1818. Predating the Colored Baptist Society, the 1810 tax assessor rolls lists six domiciles on the 300 block of Alfred Street, most of them occupied by African American residents. The block was part of “The Bottoms,” a neighborhood occupied predominantly by African Americans beginning in the early nineteenth century. Civil War-era maps depict the Alfred St. Baptist Church as well as several other developed lots concentrated on the southeast and the northwest corners of the block. By 1877, the block had been carved into over 20 separate properties, the majority of them situated on the east half of the block surrounding the Alfred St. Baptist Church.

Response: Acknowledged.

2. Archaeologists conducted limited testing in proximity to the historic Alfred Street Baptist Church building in the early 1990s. They encountered well preserved deposits in the yard to the west of

the church; one buried well shaft also was sampled. Archaeologists also monitored construction of a new church annex on the north half of the block. The south half of the block (formal address 901 Wolfe Street—Olde Town West Properties LLC), however, has not been examined archaeologically. The south half of the block has the potential to contain significant archaeological deposits that pertain to the early growth and development of Alexandria, particularly the advancement of a free African American community.

Response: Acknowledged.

Open Space and Landscaping

3. Hire a professional consultant to work with staff and the landscape designers to incorporate and interpret elements of the historical character and archaeological findings into the design of the open space and to prepare interpretive elements, which shall be erected as part of the development project. The site plan shall indicate themes and locations of interpretive elements. Prior to release of the final site plan, the consultant shall provide text and graphics for the signage subject to approval by the Office of Historic Alexandria/Alexandria Archaeology and the Directors of P&Z and/or RP&CA. * (Arch)(P&Z)(RP&CA)

Response: Acknowledged.

4. Hire an archaeological consultant to complete a Documentary Study and an Archaeological Evaluation. If significant resources are discovered, the consultant shall complete a Resource Management Plan, as outlined in the City of Alexandria Archaeological Standards. Preservation measures presented in the Resource Management Plan, as approved by the City Archaeologist, will be implemented. (Archaeology)

Response: A consultant has been hired and the documentary is being submitted with this Concept III submission for review by the City Archaeologist.

5. The Final Site Plan, Grading Plan, or any other permits involving ground disturbing activities (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of the Zoning Ordinance) shall not be released until the City archaeologist confirms that all archaeological field work has been completed or that an approved Resource Management Plan is in place to recover significant resources in concert with construction activities. * (Archaeology)

Response: Acknowledged.

6. Call Alexandria Archaeology (703-746-4399) two weeks before the starting date of any ground disturbance so that an inspection or monitoring schedule for city archaeologists can be arranged. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

Response: The language will be added to the final site plan.

7. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

Response: The language will be added to the final site plan.

8. The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

Response: The language will be added to the final site plan.

9. Certificates of Occupancy shall not be issued for this property until interpretive elements have been constructed, interpretive markers have been erected, and the final archaeological report has been received and approved by the City Archaeologist.*** (Archaeology)

Response: Acknowledged.

Code

10. All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

Response: Acknowledged.

FIRE DEPARTMENT

Findings

1. The following comments are for concept 2 only. Additional comments may be forthcoming once the applicant provides supplemental information for review. Please direct any questions to Maurice Jones at 703-746-4256 or maurice.jones@alexandriava.gov.

Acknowledged by applicant.

Response: No action required.

2. Plans should show location of all existing fire hydrants in and around site and existing fire department connections so that a determination can be made regarding the impact of construction and the ability of the fire department to provide a water supply.

Acknowledged by applicant.

Response: All existing fire hydrants are shown on the Existing Conditions Plan (C300) and on the Conceptual Site Plan (C400).

3. All new fire hydrants on property shall be City owned and maintained with the appropriate easements granted to the City for access, inspection, testing, maintenance, and service. This will be evaluated on a case by case basis.

Acknowledged by applicant.

Response: No action required.

Recommendations

4. To improve fire department operational capabilities, it is recommended that all stairways extend to the roof level for direct access to the roof.

Applicant indicates that topic will be discussed with staff. Applicant also indicates that one stair extends to roof but want to discuss whether an additional stair is required to extend. Note to applicant. This is a recommendation, not a requirement. By code, only one stair is required to extend to roof.

Response: No action is required; one stair will extend to the roof.

Code

5. The Applicant shall provide a separate Fire Service Plan which illustrates where applicable: a) emergency ingress/egress routes to the site; b) one fire department connection (FDC) for buildings under 5 stories or 55 feet or two sufficiently remote FDC's for buildings over 5 stories or 55 feet or large footprint buildings c) all existing and proposed fire hydrants where fire hydrants are located between forty (40) and one hundred (100) feet of each required FDC; d) on site fire hydrants spaced with a maximum distance of three hundred (300) feet between hydrants and the most remote point of vehicular access on site; e) emergency vehicle easements (EVE) around the building with a minimum width of twenty-two (22) feet; f) the location and size of the separate fire line(s) for the building fire service connection and fire hydrants.

Acknowledged by applicant.

Response: To be provided with completeness submission.

6. The Applicant shall provide a building code analysis with the following building code data on the plan: a) use group; b) number of stories; c) type of construction; d) floor area per floor; e) fire protection plan. This information will determine if item 5 requirements apply.

Acknowledged by applicant.

Response: To be provided with completeness submission.

- ~~7. If building or structure is over 50 feet in height, it is required to have ladder truck access to 48% perimeter of the buildings by public roads or recorded emergency vehicle easements (EVE). For a building face to be considered accessible by a ladder truck the curb line shall be at least 15 feet and no more than 30 feet from the face of the building. Alternatives that demonstrate equivalency to this requirement will be considered on a case by case basis. Equivalency may be demonstrated through methods outlined in the City Fire Prevention Code Appendix D. All elevated structures used for this purpose shall be designed to AASHTO HS-20 loadings.~~

Building is not over 50 feet and there is full fire department access. Deleted.

Response: No action required.

8. The Applicant shall provide two wet stamped copies of the fire flow analysis performed by a certified licensed fire protection engineer to assure adequate water supply for the structure being considered. The two copies shall be submitted to Alexandria Fire Department, Fire Prevention, C/O A. Maurice Jones, Jr. 900 Second Street, Alexandria, Va. 22314.

Acknowledged by applicant.

Response: No action required at this time.

9. A Knox Box Rapid Entry key access system shall be installed to facilitate building entry by fire department personnel during an emergency. The size and number of Knox Boxes, number of key sets, and required keys or access devices shall be determined by Alexandria Fire Department personnel.

Acknowledged by applicant.

Response: No action required at this time.

10. The Applicant of any building or structure constructed in excess of 10,000 square feet; any building or structure which constructs an addition in excess of 10,000 square feet; or any building where there is a level below grade shall contact the City of Alexandria Radio Communications Manager in the Department of Emergency Communications prior to submission of a final site plan. The proposed project shall be reviewed for compliance with the radio requirements of the City of Alexandria to the satisfaction of the City of Alexandria Radio

Communications Manager prior to site plan approval. Such buildings and structures shall meet the following conditions:

- a. The building or structure shall be designed to support a frequency range between 806 to 824 MHz and 850 to 869 MHz.
- b. The building or structure design shall support minimal signal transmission strength of -95 dBm within 90 percent of each floor area.
- c. The building or structure design shall support a minimal signal reception strength of -95 dBm received from the radio system when transmitted from within 90 percent of each floor area.
- d. Areas deemed critical by the City of Alexandria, such as fire control rooms, exit stairways, and exit passageways shall provide 99 percent coverage exceeding -95 dBm when transmitting or receiving.
- e. The building or structure shall be tested annually for compliance with City radio communication requirements to the satisfaction of the Radio Communications Manager. A report shall be filed annually with the Radio Communications Manager which reports the test findings.

If the building or structure fails to meet the above criteria, the Applicant shall install to the satisfaction of the Radio Communications Manager such acceptable amplification systems incorporated into the building design which can aid in meeting the above requirements. Examples of such equipment are either a radiating cable system or an FCC approved type bi-directional amplifier. A bi-directional amplifier or other powered equipment must consist of two power sources:

- a. Primary Source: Dedicated branch circuit.
- b. Secondary Source: Battery backup capable of powering the system for 12 hours at 100 percent capacity.

Final testing and acceptance of amplification systems shall be reviewed and approved by the Radio Communications Manager.

Acknowledged by applicant.

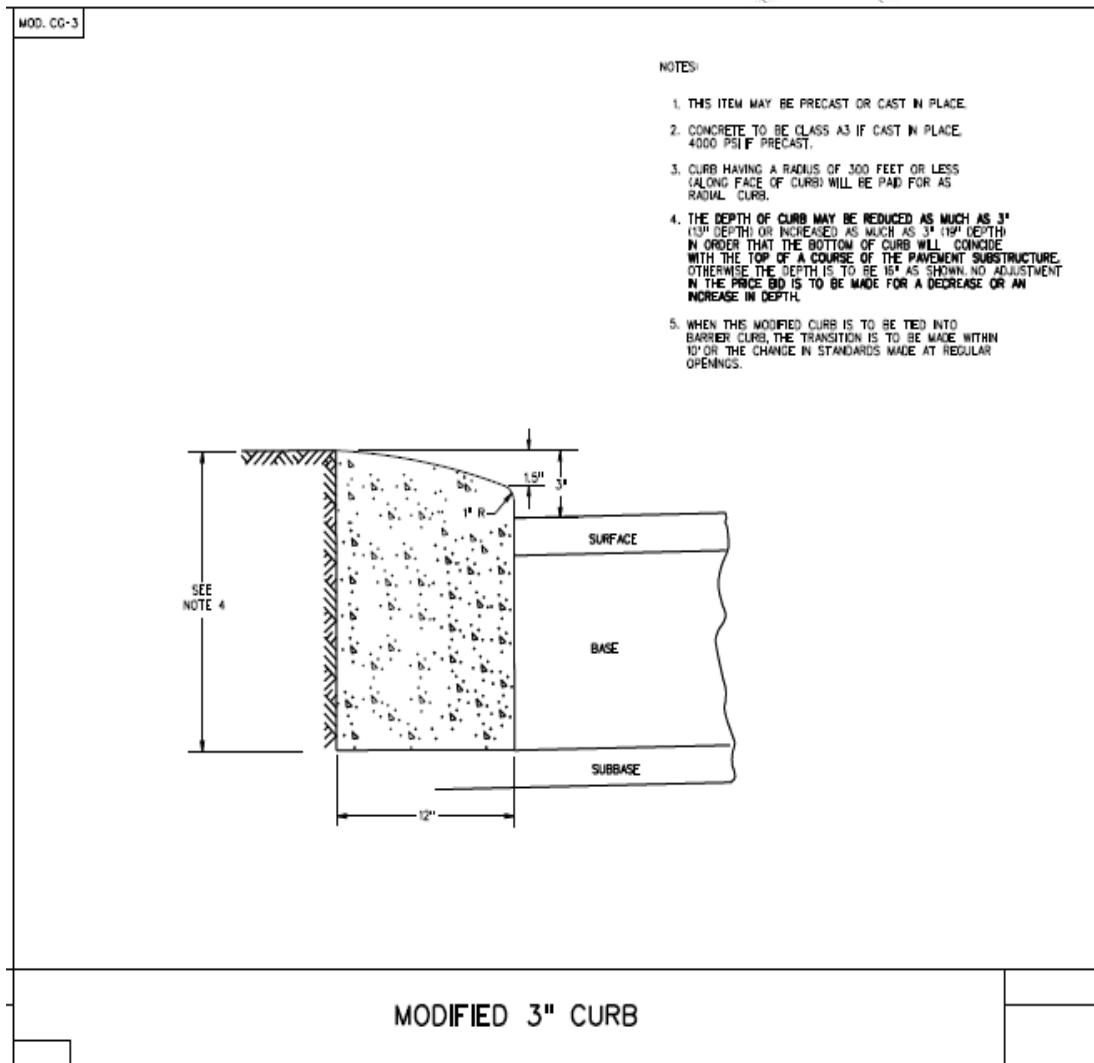
Response: Acknowledged.

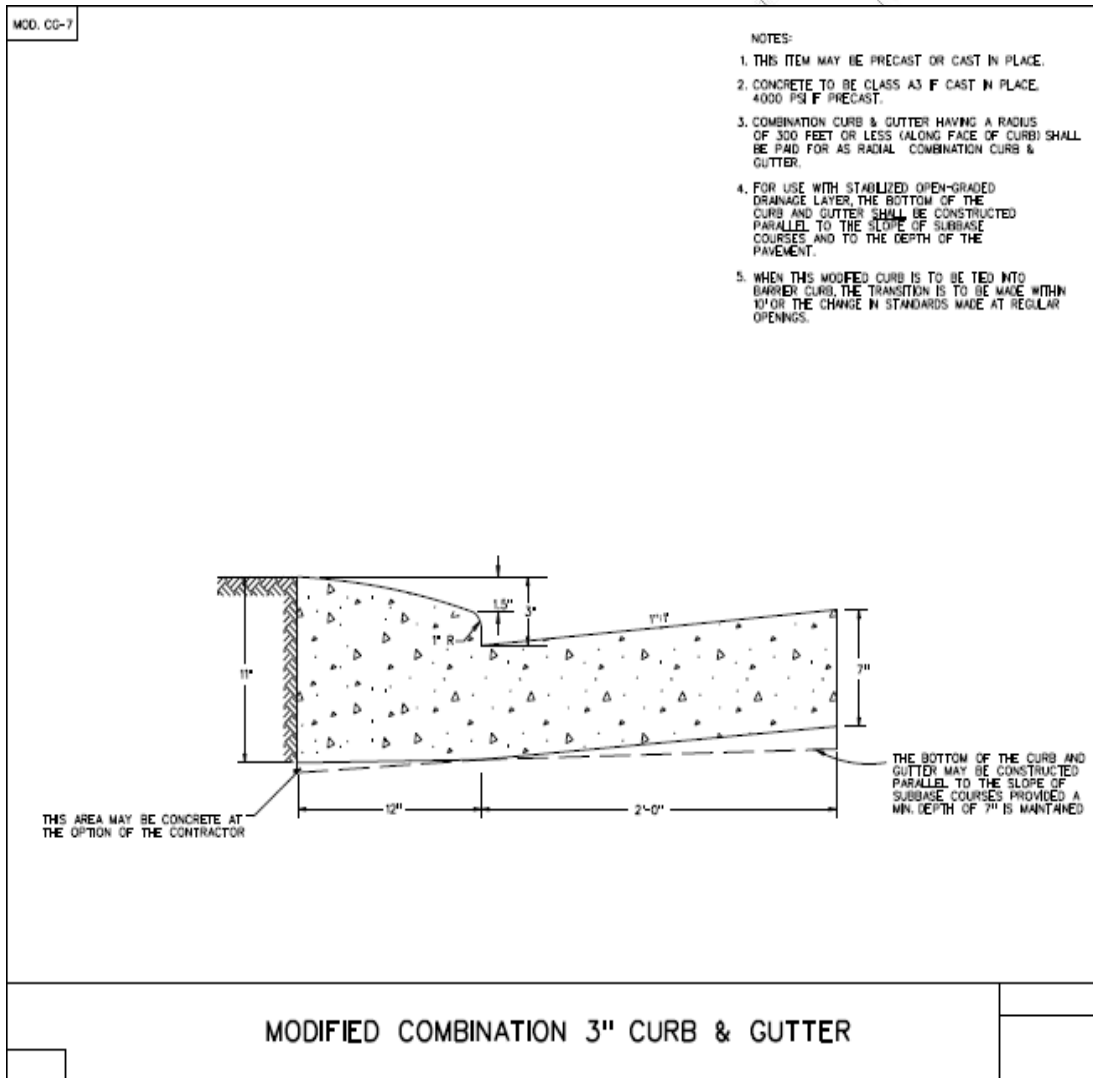
11. The site plan shall show placement of emergency vehicle easement signs. See sign detail and placement requirements are as follows:

Emergency vehicle easements shall be a minimum of 22 feet across the travel lane. The emergency vehicle easement shall provide access to strategic areas of the building and fire protection systems. Curbing and street components shall conform to the standards established by Transportation and Environmental Services and this document for emergency vehicle easements.

Emergency vehicle easement signs shall be metal construction, 12-inches wide and 18 inches in height. Provide red letters on reflective white background with a 3/8-inch red trim strip around the entire outer edge of the sign. The lettering shall say "NO PARKING," "EMERGENCY VEHICLE EASEMENT," "EM. VEH. EAS," and "City of Alex.," Lettering size shall be as follows: "NO PARKING" - 2 inches, "EMERGENCY VEHICLE EASEMENT" - 2½ inches. EM. VEH. EAS. - 1 inch, CITY OF ALEX. - ½ inch. Directional Arrows - 1 inch by 6 inches solid shaft with solid head - 1½ inches wide and 2 inches deep (For examples, see Figures D102.1, D102.2, and D102.3). Signs shall be mounted with the bottom of the sign 7 feet above the roadway, and shall be properly attached to a signpost or other approved structure such as designated by the fire official. Posts for signs, when required, shall be metal and securely mounted. Signs shall be parallel to the direction of vehicle travel and posted so the directional arrows clearly show the boundaries and limits of the Emergency Vehicle Easement. In areas where emergency vehicle easements involve two-way traffic, double mounted signs shall be provided. The maximum distance between signs shall be 100 feet. Other special signs or modifications to emergency vehicle easement signs shall be approved by the fire official.

Where curbing is a component of the emergency vehicle easement, the curbing construction shall conform to weight and grade requirements for vehicular traffic. In no circumstances shall a raised curb be located in the path of travel in an emergency vehicle easement. Where a mountable curb is provided as part of an emergency vehicle easement, emergency vehicle easement signs shall be posted at the point nearest the edge of the emergency vehicle easement, but in no case within the clear width of the emergency vehicle easement. With the exception of flush curbs, any fire department access points that require fire apparatus to mount a curb shall conform to the modified 3 inch curb design standard MOD CG-3 or MOD CG-7 design as shown.







Acknowledged by applicant.

Response: To be provided with the final site plan.

12. Show fire apparatus vehicle turning radius based on the following specifications:

Tower 203 Turning Specifications

- Turning Radius – Wall to Wall = 54.98 feet + / - 2 feet
- Curb to Curb = 51.33 feet + / - 2 feet
- Inside turning radius = 37.73 feet + / - 2 feet
- Overall Length – 47' – 4 1/2"
- Overall Width – 98"
- Wheel Bases from front axle to both rear axles – 240"
- Tandem axle spacing – 56" CL of axle to CL of axle
- Gross Weight – As built with no equipment or water gross weight = 66,000#
- Angle of Approach – 13 Degrees
- Angle of Departure – 11 degrees
- Ramp Break Over – Break over angle is 9°

Acknowledged by applicant.

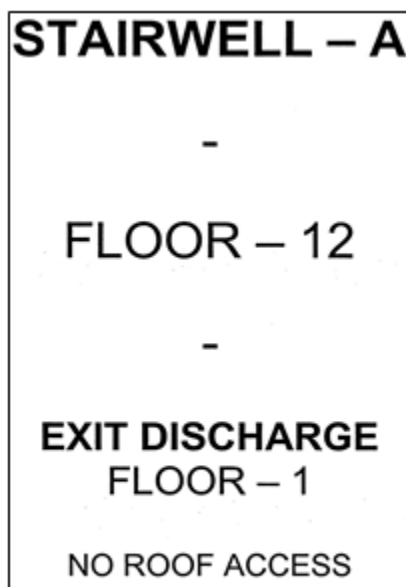
Response: To be provided with completeness submission.

13. Provide Stairway Identification. Stairway identification signs shall be provided at each landing in all interior exit stairways connecting more than three stories. Stairways shall be identified by letter designation starting next to the main entrance with "A" and continuing in a clockwise or left to right pattern using consecutive letters of the alphabet for each additional stairway. Two copies of the stairway signs shall be submitted to the fire official for approval before occupancy.

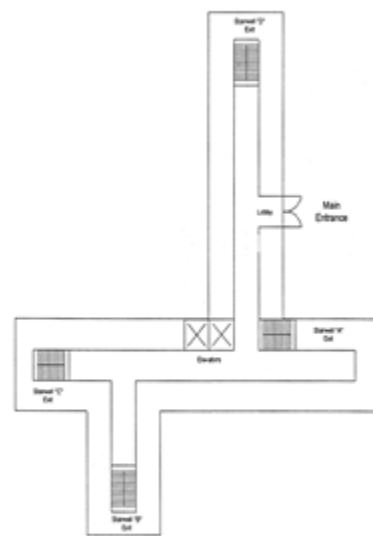
Stairway signs shall designate the stairway letter, state the floor level, the level of exit discharge, and if there is access or no access to the roof regardless if the access door or roof hatch locks.

The bottom of the sign shall be located five (5) feet above the floor landing in a position that is readily visible when the stairwell door is opened or closed. The signs must have lettering that is a minimum of 2 inches but no greater than 4 inches in height. This information may be stenciled directly onto the wall but all lettering must be of a color contrasting with the background stairway wall color.

In buildings greater than three stories where there is no graphic representation of the building footprint, a simplified building schematic must be display in the lobby. The simplified building footprint shall be an overhead view of the building exterior and the general layout of the lobby of the first floor. Stairways shall be denoted by letter as required.



Ex. Stairway Identification Sign



Ex. Building Footprint Sign

Acknowledged by applicant.

Response: Acknowledged.

14. Existing fire hydrants shall remain in-service and unobstructed during construction.

Acknowledged by applicant.

Response: Acknowledged.

Summary of ASBC Responses to Issues Raised

- Comparison of the Size of the proposed new Church to all other structures in Old Town and in Alexandria in general. The net square footage of the proposed church is squarely in the middle in terms of size of structures already in Old Town, and much lower than other structures cited by some opponents of the project:

Building	Alexandria Courthouse	City Hall	ASBC Proposal	Torpedo Factory	The Atrium (Duke & Washington)	PTO Not Old Town
Net Square Footage (all data collected from City Real Estate Assessment Records)	110,000	120,000	123,896	129,466	138,507	906,235 (one of the bldgs, the main bldg at 600 Dulaney St.

- Questions about the adequacy of the trip generation numbers utilized in the traffic impact study and its multiple comments/addendums including whether the classroom/fellowship hall space was even considered in the studies. According to the Trip Generation manual that was used for the traffic analysis, a church is defined as:

“a building in which public worship services are held. A church houses an assembly hall or sanctuary; it may also house meeting rooms, classrooms and, occasionally, dining, catering, or party facilities. Synagogue (Land use 561) and mosque (Land Use 562) are related uses.”

So the trips generated by the Church also allow and account for other activities going on within the church as defined above. No adjustment to the trip generation table in the report is needed because all that space is accounted for in the standard, industry approved, trip generation manual based on gross square footage of the facility.

- Questions about the ratio of “Worship” to “Support Space”: Percentages comparing net to gross and net to net have been used during meetings & discussions. When making these types of comparisons it is best to just use the Gross Area of the building rather than Floor Area or Net Usable Area.

WORSHIP

- Chapel = 3,728
- Sanctuary = 30,728
- **34,456 GSF**

SUPPORT (existing + proposed)

- * LL = 39,388
- * ML = 21,398
- * UL = 20,489
- 81,275 GSF**

CIRCULATION (existing + proposed)

- LL = 15,093
- ML = 15,598

- $UL = \frac{13,229}{43,920 \text{ GSF}}$

These GSF numbers can be combined and compared in any number of ways for analysis.

For example: $\text{Worship/Support} = 34,456/81,275 = 42\%$

The ASBC area summary is based upon the GSF of the project as of the 2nd BAR Concept Review submission dated 2/15/17.

4. Adequacy of Parking for Sanctuary and Support Space:

- a. The zoning ordinance requires us to calculate the parking based upon either the Principal Auditorium or the Classroom occupancy and design for the highest load. We have confirmed that the "Classroom" load is less than the sanctuary space and have designed based upon the Sanctuary & Chapel occupancy, even though the Zoning Ordinance states you calculate it based on the primary auditorium space.
- b. ASBC has been clear about concurrent use, no overflow, etc. and have been consistent in stating that ASBC may only use of the main Sanctuary and Chapel concurrently. None of the other assembly spaces will be used for overflow during worship service.
- c. We may want to consider providing a summary of weekday vs weekend use of spaces so that it is clear that we don't have concurrent use. This is also related to the Auditorium vs Classroom parking requirement. We meet and exceed the required parking especially with the addition of P3 parking level.
- d. Some of the complaints heard from the neighbors related to finding it difficult to find a parking space near their homes at night when they get home from work or on weekends when services are taking place. The addition of 314 spaces on site will alleviate the parking problem 6 out of 7 days of the week as all congregants who come to weeknight activities and the average number of attendees at the Saturday service will all be accommodated underground.
- e. Some neighbors have referenced the need to provide 1 space per 1.5 seats parking ratio, that simply is not the requirement of the zoning ordinance, however, the Church has gone over and above the requirements for parking and will be seeking a special use permit for excess parking as required under the zoning ordinance. See the chart below for parking data proposed.

SEATING & PARKING SUMMARY

SEATING

Current Submission

Sanctuary = 1,829 seats
 Chapel = 236 seats
 Total = **2,065 seats** (reduction of 98 seats)

Previous Submission

Sanctuary = 1,906 seats
 Chapel = 257 seats
 Total = **2,163 seats**

PARKING (ON-SITE)

P1 = 100 spaces
 P2 = 100 spaces
 P3 = 106 spaces
 ML = 8 spaces
 Total = **314 spaces** (increase of 98 spaces)

P1 = 104 spaces
 P2 = 104 spaces
 ML = 8 spaces
 Total = **216 spaces**

5. **Affordable Housing** – Helping to provide affordable housing is a mission of the Church and not a condition of approval as the life cycle/contract for these units expires in 2020. First and foremost, ASBC has worked with the City to ensure that there is no net loss of units when the expansion is constructed. The Church met with its residents first as part of this process to ensure they were informed of what was happening and how they would be accommodated. Residents of the 22 units located on the block with the Church will be given the first priority to relocate to the remaining 55 units that the Church will still maintain after the Virginia Housing Development Authority (“VHDA”) financing expires for these units in November 2019. Several have already moved to those units so they can stay in the same neighborhood. ASBC entered into a Memorandum of Understanding (“MOU”) with the Alexandria Housing Development Corporation (“AHDC”) to ensure that the residents have different options for where they can relocate, all in the City of Alexandria. In addition, that same MOU provides that ASBC and AHDC are working together to identify opportunities to replace or preserve at least 22 additional affordable housing units in the City. This is the Church’s mission and it will continue to be for many years to come. Any suggestion that the ASBC is displacing the residents of the 22 units on site is mistaken and ignores all the hard work the ASBC has done in the last several years to ensure those residents are provided for in the Alexandria community.

Mr. Michael Swidrak

April 3, 2017

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We trust that the above responses satisfactorily address the comments related to this project. Should you have any questions or need additional information, please do not hesitate to contact this office.

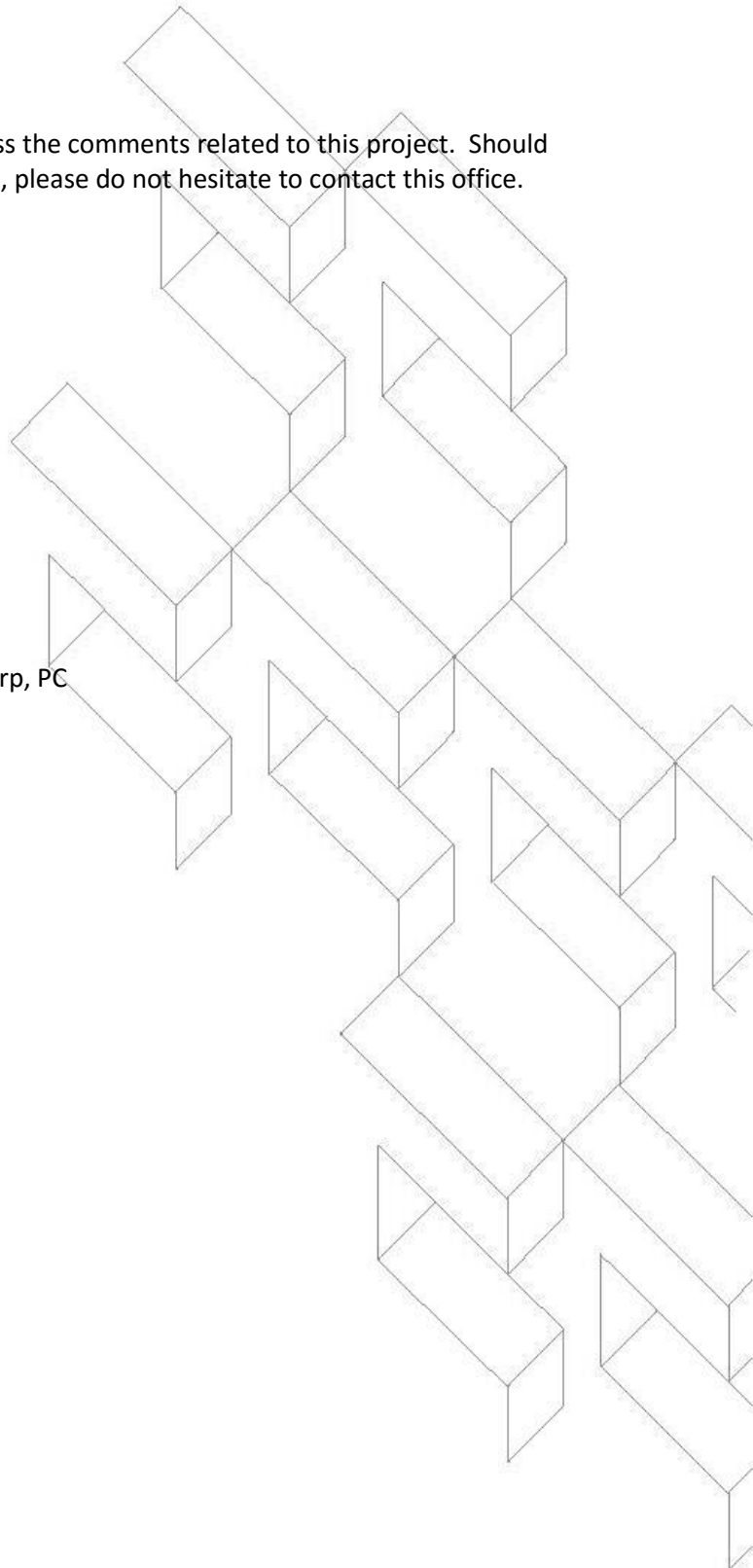
Very truly yours,

A handwritten signature in black ink that reads "Kevin M. Washington". The signature is fluid and cursive, with a long horizontal line extending to the right.

Kevin M. Washington
Senior Associate, Partner

KMW/ms

cc: Jim Garrett, Alfred Street Baptist Church
Monte Richards, Alfred Street Baptist Church
Mary Catherine Gibbs, Hart, Calley, Gibbs & Karp, PC
Andrew Cheng, Kerns Group Architects
Andy Minton, HCO, Inc.





DEPARTMENT OF PLANNING AND ZONING

FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A1. Street Address 301 S. ALFRED STREET, ALEXANDRIA, VA 22314

Zone RM

A2. 86943 SF

x 1.5

= 130415

Total Lot Area

Floor Area Ratio Allowed by Zone

Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	0	Basement**	0
First Floor	14398	Stairways**	4942
Second Floor	17306	Mechanical**	318
Third Floor	11230	Other**	773
Porches/ Other	306	Total Exclusions	6033
Total Gross *	43537		

B1. Existing Gross Floor Area *
43537 Sq. Ft.

B2. Allowable Floor Exclusions**
6033 Sq. Ft.

B3. Existing Floor Area minus Exclusions
37504 Sq. Ft.
(subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	49626	Basement**	35137
First Floor	45440	Stairways**	6394
Second Floor	34989	Mechanical**	697
Third Floor	0	Other**	1602
Porches/ Other	167	Total Exclusions	43830
Total Gross *	130222		

C1. Proposed Gross Floor Area *
130222 Sq. Ft.

C2. Allowable Floor Exclusions**
43830 Sq. Ft.

C3. Proposed Floor Area minus Exclusions
86392 Sq. Ft.
(subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 123896 Sq. Ft.

D2. Total Floor Area Allowed by Zone (A2) 130415 Sq. Ft.

*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

F. Open Space Calculations

Existing Open Space	
Required Open Space	Not Applicable
Proposed Open Space	

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____

Date: 4/3/2017

